

# Michael Driscoll School



## Guaranteed Maximum Price Proposal

5/24/21

Submitted By:



10 Channel Center Street, Suite 100  
Boston, MA

**Owner:**

**Town of Brookline**

**333 Washington Street  
Brookline, MA**

**Designer:**

**Jonathan Levi Architects, Inc.**

**266 Beacon Street  
Boston, MA**

**Owner Project Manager:**

**Leftfield LLC**

**101 Federal Street  
Boston, MA**



**Michael Driscoll School**

**GMP EXHIBITS**

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**5/24/2021**

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**Michael Driscoll School**

**Exhibit A**

**GMP Summary Breakdown**

**Michael Driscoll School  
Guaranteed Maximum Price**

**Michael Driscoll School**  
**Exhibit A - GMP Summary Breakdown**  
**24-May-21**



Bid Package Description	GMP TOTAL AMOUNT	Subcontractor/ Vendors Carried Within GMP	Cost per GSF 155,000	% of Total
01A - General Requirements	\$2,150,520		\$13.87	2.3%
02A- Demo/Abatement	\$1,472,460	American	\$9.50	1.6%
03A - Cast-In-Place Concrete	\$7,924,859	Marguerite	\$51.13	8.4%
04A - Masonry	\$1,827,000	Fernandes	\$11.79	1.9%
05A - Structural Steel	\$6,110,456	Supermetal	\$39.42	6.5%
05B - Misc. and Ornamental Metals	\$1,285,000	United	\$8.29	1.4%
06A- Millwork	\$1,905,472	Polybois	\$12.29	2.0%
07A- Waterproofing	\$715,000	Armani	\$4.61	0.8%
07B - Roofing and Flashing	\$1,417,000	JD Rivet	\$9.14	1.5%
07C - Metal Panels	\$1,790,228	Salem	\$11.55	1.9%
07D - Spray Fireproofing	\$224,664	Ricmor	\$1.45	0.2%
08A - Curtainwall	\$3,854,101	Salem	\$24.87	4.1%
08B - Glass and Glazing	\$386,400	Kapiloff	\$2.49	0.4%
08C - Doors, Frames and Hardware	\$574,816	Kamco/Oconnor	\$3.71	0.6%
09A - Drywall/General Trades	\$8,160,161	Central	\$52.65	8.7%
09B - Resilient Flooring	\$505,371	CJM	\$3.26	0.5%
09C - Tile	\$262,272	Pavillion	\$1.69	0.3%
09D - Painting	\$525,970	Color Concepts	\$3.39	0.6%
09E - Acoustic Tile	\$1,164,972	The Cheviot Corp	\$7.52	1.2%
09F - Wood Flooring	\$212,520	Keifer	\$1.37	0.2%
09G - Resinous Flooring	\$90,766	Stonhard	\$0.59	0.1%
09H - Carpeting	\$86,627	Capital	\$0.56	0.1%
10A - Specialties	\$789,108	HOLD	\$5.09	0.8%
10B - Signage	\$75,000	Owner Allowance	\$0.48	0.1%
10C - Overhead Doors	\$82,782	Baron	\$0.53	0.1%
11A - Food Service Equipment	\$437,184	Kitteridge	\$2.82	0.5%
11B - Gym Equipment	\$197,340	The Pappas Co	\$1.27	0.2%
11C- Theater Equipment	\$236,037	Barbazon	\$1.52	0.3%
12A - Window Treatment	\$232,895	Owner Allowance	\$1.50	0.2%
14A - Elevators	\$394,000	Delta	\$2.54	0.4%
21A - Fire Protection	\$939,600	Johnson Controls	\$6.06	1.0%
22A - Plumbing	\$2,353,000	PJ Kennedy	\$15.18	2.5%
23A - HVAC	\$10,433,000	PJ Kennedy	\$67.31	11.1%
26A- Electrical	\$6,259,000	WJ Griffin	\$40.38	6.7%
31A - Sitework	\$10,748,270	Jderenzo	\$69.34	11.5%
32A - Site Improvement	\$3,776,784	Greenscape	\$24.37	4.0%
32B - Synthetic Grass Surfacing	\$271,999	Owner Allowance	\$1.75	0.3%
<b>Subtotal</b>	<b>\$ 79,872,634</b>		<b>\$515.31</b>	
CM Contingency @ 2.75%	\$ 2,196,497			
Builders Risk	\$ 116,383			
General Conditions (Lump Sum)	\$ 5,281,031			
Building Permit (2%)	Waived			
Owner Allowances	\$ 1,110,000			
CCIP @ 2.75%	\$ 2,580,085			
SDI (1.2%)	In Above			
P&P Bond	\$ 596,703			
Fee (Lump Sum)	\$ 2,070,000			
<b>Total GMP Amount</b>	<b>\$ 93,823,333</b>			



**Michael Driscoll School**

**Exhibit B**

**Qualifications & Clarifications**

**Michael Driscoll School  
Guaranteed Maximum Price**



**EXHIBIT B**  
**Michael Driscoll School**  
**J08864.000**  
**ASSUMPTIONS & CLARIFICATIONS**

**May 24, 2021**

**General Clarifications –**

1. GMP dated May 24, 2021 includes the documents listed in Exhibit I dated 5/18/21. All other documents and Agreements between the Owner and other parties are excluded.
2. This is not a “line-item” GMP. All items except General Conditions (Lump Sum), and Owner Allowances will reconcile to CM Contingency.
3. GMP is based upon receipt of an NTP (Notice to Proceed) for construction by the Owner on/or about June 2, 2021 and fully executed GMP by June 30, 2021. Delay in execution or any restrictions to release for construction may result in a change in the GMP Project Schedule in Exhibit H, and /or GMP value.
4. Excludes the Preconstruction costs thru 6/1/21 Amendment 4 for a value of \$474,697.
5. For the purposes of the GMP document, when “Trade Contractors” are referenced this means both filed sub bids (Trade Contractors) and Subcontractors.
6. Issuance of an NTP for construction constitutes acceptance of the Gilbane recommended lowest responsible bidders listed contained within the GMP. The NTP authorizes Gilbane to issue contracts to listed bidders in the GMP. The GMP is based on the listed Trade Contractors’ acceptance and execution of a contract to perform the work. Rejection of a bid of a Trade Contractor listed within the GMP by the Owner will require an adjustment to the GMP value to accommodate the next lowest responsible.
7. Filed sub bid Trade Contracts were awarded based on the specific scope of work included in their contracts which specifically included only the documents referenced in the specific Specifications Sections owned by these filed sub bidders. Work included on Contract Documents referenced elsewhere are excluded.
8. This GMP excludes all Alternates shown in Exhibit G. Acceptance of Alternates will result in a change order. Alternates values are good through June 17, 2021.
9. The GMP includes the costs of compliance with all executive orders and government regulations associated with the COVID-19 pandemic through the date of the GMP. In light of the wide-ranging and potentially long-lasting effects posed by the COVID-19 pandemic, including, without limitation, disruption of construction supply chains, labor shortages, and governmental actions, Gilbane reserves its right to assess reasonably unforeseeable impacts on an ongoing basis and to seek an equitable adjustment in the Guaranteed Maximum Price and an extension of the Contract Time as such adjustments become necessary.

10. Electronic document control will be utilized on the project for the processing and turnover of all project documents including but not limited to; Submittals, Requests For Information, Punch List, AE Field Reports, Time and Material slips, Drawings, Specifications, Operating Manuals etc. Project management software systems include Procore, CMIC and Textura. Operation Maintenance Manuals & As- built will be provided as hard copies.
11. Liquidated Damages are \$3,000 per day. For the purposes of assessing Liquidated Damages, the enforcement date shall be no sooner than 9/1/23 for the new building. The Liquidated Damages enforcement date field completion shall be no sooner than 9/1/2024.

12. Not used

13. In all cases, it is understood that the Owner shall be deemed as the generator of the hazardous materials. Contractor shall neither take title to or be deemed the generator of the hazardous material or substance at any time during the abatement, removal, transportation, or disposal. The Owner or his designated representative will sign all Hazardous Materials disposal manifests, Waste Shipping Records, Material Shipping Records or Bills of Lading (when applicable) for the project. Gilbane and Trade Contractors are responsible only for any hazardous materials they bring to the site.
14. Gilbane and/or the Trade Contractors shall not be held responsible if an Indoor Air Quality (IAQ) test fails as a result of installation of a specified material, approved material, or FF&E, provided the installation conforms to the Contract Documents, and/or manufacturers recommendations, whichever is the higher standard unless the violation is caused by the failure of the HVAC system to properly ventilate.
15. Excludes the cost for moving of the building's employees, phone, and data relocations, as well as moving the existing office furnishings and furniture to be salvaged. This includes providing any additional floor, wall, furniture, and equipment protection during the moving of these items as well as any repairs that may be required as a result of damages.
16. Excludes all cost and schedule impacts resulting from future changes in law.
17. The GMP is based on the CMP/Site Logistics Drawings included in Exhibit J. Any deviations will be a change to the GMP.
18. The Owner acknowledges that G. O. Services, LLC is a Delaware limited liability company in which Gilbane Building Company is the sole and managing member. Gilbane intends to utilize G.O. Services, LLC for all interim labor, all interim cleaning, and all final cleaning tasks, subject to appropriate procurement practices.
19. Labor rates for Trade Contractors to be audited and approved by the Owner prior to utilization in all changes. These submitted rates are fixed. Rates shall be revised as required and according to Collective Bargaining Agreements.

20. Substantial Completion shall be considered achieved with the issuance of the Temporary Certificate of Occupancy (TCO). If the TCO cannot be obtained through no fault of the Construction Manager, Substantial Completion shall not be withheld.
21. Gilbane has provided Interdisciplinary Coordination (IDC) Review Report 3/22/21 which addresses coordination and scope review issues. These reports have been forwarded to the Architect. Neither is intended as a substitute for engineering or architectural review by licensed design professionals. The comments contained in the reports represent observations and/or suggestions intended for consideration and possible incorporation into the design documents. Items not incorporated into the Contract Documents are excluded from the GMP. A final compliance check of the IDC report created 3/22/21 was completed on 5/12/22 against the documents dated 4/16/21 including Addendum 1, 2 & 3. No design liability has been assumed by Gilbane as result of the information contained in the reports.
22. Gilbane provided due diligence to maximize M/WBE participation. This GMP includes anticipated minority and women business enterprise percent participation of approximately 6.5% combined. It is noted the participation for "non-filed" subcontractors are approximately 6.5%. MBE is 3% and WBE is 3.5%. Gilbane will continue to work with the Owner to increase M/WBE participation.
23. Excludes night and weekend security. The only security provision included in the GMP is the perimeter site fence.
24. Benchmarks will be conducted at the first install of material for conformance to the contract requirements. All mockups called for in the Contract Documents will be in place benchmarks for quality. Materials will be fabricated prior to in place benchmarks or mockups, in accordance with approved submittals. Any design changes will be a change to the contract.
25. The project is seeking LEED V4 (or V4.1) Certification. Compliance with LEED V4 (or V4.1) will be determined by material vendors /manufacturers of specified materials who can comply at the time of material purchase. Cost associated with the credits noted as tracked by contractor have been included in the GMP. However, please note that Gilbane and the Trade Contractors will only be able to provide documentation for products and materials that meet the Specifications and available from these suppliers and manufacturers. It is the responsibility of the Designer/Architect to coordinate and verify that the Specifications will be able to provide the required compliance for certification. Gilbane staff will provide documentation to the Architect LEED Consultant for their submission of documentation to USGBC. All registration and certification fees associated with LEED are excluded. Substantial Completion and final payments are not contingent on the LEED certification process.
26. Professional photography for construction progress and completion is excluded.
27. Warranty period will commence upon sign off on the AIA certificate of Substantial Completion for the Building phase and Field phase.
28. Includes Subcontractor Default Insurance on the Trade Contractors. Subcontractor Default Insurance (SDI) 1.2% rate is applied to the sum of the Subcontractor Costs. Filed sub bid Trade Contractors have included bond costs in their contracts.
29. The GMP includes the Contractor Controlled Insurance Program (CCIP) which is calculated based on the total Contract Value. See Exhibit K for additional information on CCIP.



30. We have included the Builder's Risk insurance. Deductibles for Builders Risk will be funded by Subcontractors if they are responsible for the claim. If responsibility is unassignable, the deductible will be reimbursed through Contract Change Order. Fault will be defined by the insurance company. Assumes transfer of insurance by 9/1/23 upon receipt of Building TCO.
31. Excludes all blocking for (unless shown on Contract Documents) FF & E. Owner to provide protection, trash removal and dumpsters for debris resultant from the FF & E.
32. All moving, relocation, and final connection to building utilities of existing Owner or user group possessions and equipment are by the Owner. Standby trades including elevator operators for Owner FF & E deliveries or move-ins are excluded.
33. Independent 3rd party testing, inspection and Commissioning costs are paid by the Owner. Support is provided by the relevant Trade Contractor with appropriate oversight and coordination by Gilbane.

**34. Not used**

35. Utility Consumption Costs: The Owner will provide all building utility services at the time of Substantial Completion.
36. Excludes all utility company charges associated with connecting permanent utilities.
37. GMP includes owner allowance for temporary elevator use prior to Elevator Certification.

**38. Not Used**

39. Fee is converted to a Lump Sum at time of GMP, and therefore will not be returned on unused Contingency or General Requirements. Fee will not be returned on net deductive changes. Unused Contingency funds will be returned to Owner as defined per Contract.
40. Final retainage may be released upon 100% completion of an individual Subcontractor's work including punch-list items, and all close-out documentation has been completed and submitted by the Subcontractor and approved by the Construction Manager. Separate requisitions will be submitted by requesting subcontractors.
41. Trade Allowance costs are reconciled by CM Contingency.
42. Owner Allowance costs are reconciled by Owner Change Order with applicable markups.
43. The GMP is based on the Draft Project Schedule, data date April 26, 2021 with a run date of May 19, 2021 with a Substantial Completion Date of August 16, 2023 and Abatement, Demolition and Sitework and Improvements completed by July 22, 2024, included in Exhibit H.
44. Includes costs for winter weather for the GMP schedule. Should the Schedule change, through no demonstrated fault of the contractor and new work be required during winter months, the premium costs will be a change to the contract.

45. Punchlist and Seasonal Commissioning may be performed after Substantial Completion.

46. The GMP excludes resource loaded schedule per Specification 013200 paragraph 1.3J.

47. The schedule is based on of the following assumptions:

- Temporary power will be available from the utility company no later than July 30, 2021.
- Temporary heat within the Buildings during winter of 2022/2023 may utilize the permanent boilers and supplemental rented heaters.
- Subject to Authorities having jurisdiction the Owner may commence moving furniture prior to TCO.
- Shared use of the Westbourne Terrace and Washington Street, as well as the adjacent Alley (between the site and retail merchants located at 1632 Beacon Street) for construction activities and access to the site.
- The schedule is based on Normal working hours M-F to achieve Substantial Completion.
- Utility Co. to establish permanent power no later than November 15, 2022.
- Fully executed Building Permit will be received before 6/15/21 construction start.
- The schedule is based on receipt of NTP on/or about June 2, 2021.

## **Trade Specific Qualifications**

### **Demolition**

1. This GMP excludes any ground improvements at or under the existing Building and demolition of deep foundations beyond what is shown on the drawings.
2. Foundations and slab elements are assumed to be free of asbestos waterproofing, Styrofoam and plastics.

### **Sitework**

3. This GMP excludes cleaning of existing drainage, structures, or utilities.
4. Unfreezing soils/frost removal and protection is excluded from this Bid Package and will be covered by Owner Allowance.
5. This GMP assumes all liquid asphalt will be purchased at \$495.00 per ton as stated in MASS DOT rates. Any cost increases or decreases shall be adjusted via Change Order.

### **Cast-in-place Concrete**

6. This GMP excludes concrete sealer at exterior locations.
7. Finish of walls at shear cores will be plug and patch, as accepted by project team during scope negotiations.
8. GMP excludes steel deck shoring, as none has been identified.

### **Structural Steel**

9. Supermetal's structural steel price is valid until Wednesday June 2, 2021.

### **Millwork**

10. The millwork installation will not be installed within the environmental standards noted in the specifications or AWI environmental standards.

### **General Trades**

11. The General Trades price includes removal of all vertical reveals in classrooms and hallways, as accepted by project team during scope negotiations. Maintains horizontal reveal at 30".

### **Theater Lighting**

12. This GMP includes 1 mobilization to make adjustments in field with AE.

### **HVAC**

13. All commissioning activities are to be performed by the Owner and their 3rd party Commissioning Agent. The Substantial Completion Date is based on the Commissioning Agent's ability to perform their work in accordance with the Project Schedule.

### **Food Services**

14. Final wipe down and cleaning of equipment is included. Final sanitizing is not included and is expected to be part of the Owners food service management company's scope of work.

### **Fire Protection**

15. Fire Protection scope of work will be performed for only what is defined on the Contract Documents. Any additional work necessary to bring the remaining building up to code or advised by an AHJ is excluded.
16. New water service identified to be connected to the existing water service at Westbourne Terrace assumes the existing service is sufficient and capable of delivering flows and supply to meet the design criteria.

### **Plumbing**

17. The GMP assumes the domestic water service for the building will be sufficient for connection of new work to, meets all applicable use and codes, and will be maintained by the Owner.

### **Sitework**

18. Site Improvements pricing included VE to furnish and install precast curb in lieu of cast in place curb, as accepted by project team during scope negotiations.



**Michael Driscoll School**

**Exhibit C**

**Staffing Plan**

**Michael Driscoll School  
Guaranteed Maximum Price**



Michael Driscoll School  
Staffing Plan

5/24/2021

	2021												2022												2023												2023																																										
	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Month Total	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Month Total	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Month Total	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Month Total	TOTAL																										
<b>Field Personnel</b>																																																																															
On Site Project Executive- Walt Kincaid						79	79	79	79	79	79	83	554													76	72	83	76	79	79	76	83	79	76	79	79	936														79	72	83	72	73	79	76	33	30	32	16	15	670	17	15	15	16									63	2,223	
On Site Project Manager- Lynda Callahan						158	158	158	158	181	158	166	1109													151	144	166	151	158	158	151	166	158	141	158	158	1872														158	144	166	144	166	158	151	166	151					1404														4,385
Manager of Engineering- Derek Ullman						158	158	158	158	181	158	166	1109													151	144	166	151	158	158	151	166	158	141	158	158	1872														158	144	166	144	166	158	151	166	151	158	158	141	1872	166	151	151	158	166	144							936	5,789	
General Superintendent- Bob Braga						158	158	158	158	181	158	166	1109													151	144	166	151	158	158	151	166	158	141	158	158	1872														1404														4,385													
Project Engineer- Colleen Shouldice						158	158	158	158	181	158	166	1109													151	144	166	151	158	158	151	166	158	141	158	158	1872														151	158	158										1721														4,702	
Project Engineer- TBD											158	158	166	475												151	144	166	151	158	158	151	166	158	141	158	158	1872														158	144	166	144	166	158	151	166					1253														3,600	
Superintendent- TBD												166	166	166												151	144	166	151	158	158	151	166	158	141	158	158	1872														151	158	158	151	166								1872	166	151	151	158	166								792	4,702	
Assistant Superintendent- TBD													166	166												151	144	166	151	158	158	151	166	158	141	158	158	1872														151	158	158										1404														3,442	
Project Accountant- Charlie Buhl						63	63	63	63	60	63	66	444													60	58	66	60	63	63	60	66	63	60	63	63	749														60	48	48	45									702	50	45	45	48	32	32						252	2,147		
VDC Engineer- Staff						158	158	158	158	151	158	166	1109																																																				1,109														
Office Engineer-TBD																										151	144	166	151	158	158	141	166	158	151	158	158	1872														158	144	166	144	166								778														3,284	
EEO Compliance- Danielle Skilling																																																																	-														
<b>Office Personnel</b>																																																																															
Safety Engineer						16	16	16	16	16	16	16	112													16	16	16	16	16	16	16	16	16	16	16	16	192														16	16	16	16	16	16	16	8	8	8	8	8	152	8	8	8	8	8	8						40	496		
Quality/Engineering Manager							8					8	16																										8														8							8					8	40													
Advanced Planning/Scheduling- Rob Duzan						24	24	24	24	24	24	24	168													24	24	24	24	24	24	24	24	24	24	24	24	288														24	24	24	24	24	24	24	24	8	8	8	8	240	8												8	704	
Procurement Manager- Paul Ruggieri (2 month of construction start)						151	144	166					461																																																				461														
Cost Controller						12	12	12	12	12	12	12	84													12	12	12	12	12	12	12	12	12	12	12	12	144														12	12	12	12	12	12	12	8	8	8	8	132	8	8	8	8	8	8	8					56	416			
AP Department						4	4	4	4	4	4	4	28													4	4	4	4	4	4	4	4	4	4	4	4	48														4	4	4	4	4	4	4	4	4	4	4	4	48	4	4	4	4	4	4	4					28	152		
Environmental Specialist- Mark Winslow						32							32																									8													32							32					64												0	136			



**Michael Driscoll School**

**Exhibit D**

**Owner Allowances**

**Michael Driscoll School  
Guaranteed Maximum Price**

Michael Driscoll School  
GMP Owner Allowances  
Exhibit D  
5/24/2021



Bid Package	Allowance Description	Amount
Unassigned	Demo of remaining Owner Furniture beyond what is shown on CD's	\$ 5,000.00
Unassigned	Temp Heating Eq, labor & Fuel for Winter Construction	\$ 325,000.00
Unassigned	Elevator Operator	\$ 50,000.00
Unassigned	Electrical Consumption	\$ 175,000.00
Unassigned	Water & Sewer Charges	\$ 50,000.00
Unassigned	Fire Watch Details	\$ 225,000.00
Unassigned	Police & Traffic Control	\$ 180,000.00
Unassigned	Covid 19 Cleaning /Daily Sanitizing - 8 Months	\$ 100,000.00
<b>Total</b>		<b>\$ 1,110,000.00</b>

Bid Package	Allowance Description	Amount
10B	Signage Bid Package Award \$75,000 (See Bid Package Summary)	Included in GMP
12A	Window Treatments (includes Theater Curtains) \$232,895 (See Bid Package Summary)	Included in GMP
32B	Synthetic Turf \$271,999 (See Bid Package Summary)	Included in GMP
31A	Soil removal and disposal in excess of quantities in the specifications 31 20 01 Part 4.2. \$435,000	Included in GMP
31A	Rock socket Allowance, additional Site Access , SOE Install \$250,000	Included in GMP
31A	Over ex Allowance (assume clean disposal and gravel/lean replacement) \$365, 000	Included in GMP
31A	Water Treatment by means of Carbon Filtering \$50,000	Included in GMP
31A	Disposal of Soils not Classified as Clean per quantities listed in 31 20 01 Part 4.2 \$729,920.00	Included in GMP
31A	All Contaminated Soils removal is based on QTY in Specifications 31 20 01 Part 3.9 A & B \$46,208	Included in GMP





**Michael Driscoll School**

**Exhibit E**

**Trade Allowances**

**Michael Driscoll School  
Guaranteed Maximum Price**

Michael Driscoll School  
Trade Allowances  
Exhibit E  
5/24/2021



Bid Package	Allowance	AMOUNT
05A	Beam Pens Per S401: ->100 - 6" dia shop cut beam pens ->20 - 6" Dia Field Cut Beam Pens ->20 - 16 x 10 reinforced shop cut opening pens ->10 - 16 x 10 reinforced field cut opening pens	
06A	Wood and Plam Touch up	\$7,500.00
07A	5 man days of AVB Patch as directed by CM.	
07B	Roofing additional 5,000SF patch	
07D	Provide and include in the base bid amount an "allowance cost" to carry fifteen (15) crew days (2-man crew) for Hand Patching and fifteen (15) crew days (2-man crew) for Pump Patching. This cost shall account for all materials, labor and equipment for the noted durations.	
08D	Door Touch Up	\$7,500.00
09A	Include the costs for 120 hours (Carpenter) for drywall repair at the direction of the construction manager.	
09A	Include the costs for 200 hours (Taper) for drywall patching at the direction of the construction manager.	
09A	Include the costs for 120 hours (Carpenter) for misc. safety work at the direction of the construction manager.	
09A	Work as Directed per direction of CM.	\$10,000.00
09A	Temp Weather Protection (not in Base)	\$15,000.00
09A	Wood Blocking required above & beyond scope	\$15,000.00
09A	Hollow Metal Door Frames installed out of sequence	\$5,000.00
09A	Installation of an additional 10 Access Panels furnished by others (above the base bid)	
09D	This proposal shall also include manpower, material and equipment for paint touch-up. Scope of work to include three (3) painters for five (5) days per floor.	
09E	80 Hours straight time to remove and reinstall ceiling tiles for Owner Trades hr/132.78	\$ 10,622.00
09E	In addition to punch list work; Include one pass back through the building, as requested by the CM to re-install and adjust tile removed by others. This trade contractor will also include furnishing and installing thirty six (36) cases of ceiling tile, this is in addition to the attic stock specified which will be turned over to the Owner separately at the end of the project.	
31A	Street Sweeping (over and above weekly)	\$15,000.00
31A	Added Stone to stabilize Site	\$20,000.00
31A	Add Temp Walkways not shown	\$5,000.00
31A	Rework Temp Fencing and Gates as directed by GBCO	\$15,000.00
31A	Snow Removal Operations as directed by GBCO	\$50,000.00
31A	Provide utilities for Temp Offices (water, electric)	\$20,000.00
31A	Bring Site up to design Subgrade after removal of foundations	\$ 15,000.00



**Michael Driscoll School**

**Exhibit F**

**General Requirements**

Michael Driscoll School  
 Exhibit F - General Requirements  
 5/24/2021



<b>General Requirements</b>	GMP
Project Construction Permit	Assume
Miscellaneous Permits	Trades
Temporary Dust Partitions	Trades
Temp Man / Material Hoist +Operator	Excluded
Temporary Protection / Existing Windows	\$ 140,000
Temporary Protection Existing Roofs	Trades
Temporary Roads and Parking Lots	\$ 50,000
Temporary Stair Tower - 2	\$ 60,000
Temporary Staging @ Atrium Stair (Platform)	\$ 200,000
Temporary Walkways. & Guard Rails	\$ 100,000
Trash Chutes	Trades
Temporary Barriers	\$ 25,000
Removable Fence	Trades
Double Gate	Trades
Personnel Gate	Trades
Snow Removal / Winter Conditions	\$ 120,000
Security - Web Based Service	\$ 50,000
Temporary Lighting	Trades
Temporary Fire Protection	Trades
Hoisting	\$ 50,000
Shoring of Existing Basements	N.A.
Dust Control / Street Cleaning	\$ 35,000
Noise Monitoring	\$ 50,000
Indoor Air Quality Testing & Monitoring	\$ 30,000
Dust Monitoring	\$ 80,000
Vibration Monitoring	\$ 50,000
Connection Cost / Water & Electrical	By Trades
Dewatering Discharge Fee	Included in
Temp. Power at Close Out	Included
Storage Trailers and Containers	\$ 10,000
Safety and Protection	\$ 50,000
Wetland and Environmental Protection	Trades
Moisture Mitigation	\$ 100,000
Floor Leveling	\$ 50,000
Drug Testing	Trades
COVID19 Screening / PPE - ALLOWANCE for Added Equipment - 6 mnths	\$ 30,000
Open & Close Sidewalks - twice daily - 2 hrs / day, GO Rate - 24 mnths	\$ 96,000
Rough Cleaning & Final Cleaning	\$ 774,520
<b>TOTAL</b>	<b>\$ 2,150,520</b>



**Michael Driscoll School**

**Exhibit G**

**Insurance and Bond**

**TRAVELERS CASUALTY AND SURETY COMPANY OF AMERICA  
BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY**

February 20, 2020

Ms. Lynn Stapleton  
Leftfield  
225 Franklin Street, 26<sup>th</sup> Floor  
Boston, MA 02110

Re: **GILBANE BUILDING COMPANY**  
**RFP – Construction Management at Risk Services**  
**Michael Driscoll School Project, Brookline, MA**  
**Estimated Construction Cost: \$92,000,000 +/-**

Dear Ms. Stapleton:

Travelers Casualty and Surety Company of America and Berkshire Hathaway Specialty Insurance Company (hereinafter 'co-surety') are privileged to act as the co-surety for Gilbane Building Company. As Gilbane Building Company's co-surety, we have always been impressed by our client's diverse capabilities, past project experience, track record of performance and depth of the company's professional staff.

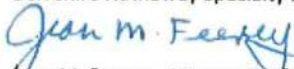
Throughout their relationship, the co-surety has provided all of the surety bonds that Gilbane Building Company's clients have requested. With respect to Gilbane Building Company's current bonding requirements, please be advised that the co-surety is willing to support individual projects in excess of \$500,000,000 and corresponding backlogs approaching \$5,000,000,000. Subject to underwriting particulars expressed in the following paragraph, the co-surety will provide Gilbane Building Company with payment and performance bonds if selected by the Town of Brookline for the award of the above referenced project in the amount of one hundred and ten percent (110%) of the construction contract.

As is customary within the surety industry, the execution of any bonds would be subject to, but not necessarily limited to receipt and favorable review of all contract terms and conditions, bond forms, confirmation of project financing and all current underwriting information needed at the time of the request for bonds is made by Gilbane Building Company to the co-surety. Please understand that any arrangement for surety bonds is a matter strictly between Gilbane Building Company and its co-surety. As such, we assume no liability to you or any third party by the issuance of this letter.

Each of the surety companies are fully licensed and authorized to conduct surety business in the Commonwealth of Massachusetts and each are listed in the US Department of Treasury's listing of Approved Sureties (Department Circular 570). Each surety company has a Company Policyholder rating of "A++" (Superior) by A.M. Best Company with a financial Size Category "XV". Please feel free to contact this office should you have any questions regarding the bonding capacity or technical ability of Gilbane Building Company.

Sincerely,

Travelers Casualty and Surety Company of America  
Berkshire Hathaway Specialty Insurance Company

  
Jean M. Feeney, Attorney-in-Fact



**Travelers Casualty and Surety Company of America  
Travelers Casualty and Surety Company  
St. Paul Fire and Marine Insurance Company**

**POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS That Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint **JEAN M FEENEY** of **BOSTON** Massachusetts, their true and lawful Attorney-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this 17th day of January, 2019.



State of Connecticut

City of Hartford ss.

By   
Robert L. Raney, Senior Vice President

On this the 17th day of January, 2019, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission expires the 30th day of June, 2021



  
Anna P. Nowik, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, which resolutions are now in full force and effect, reading as follows:

**RESOLVED**, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her, and it is

**FURTHER RESOLVED**, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

**FURTHER RESOLVED**, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

**FURTHER RESOLVED**, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, Kevin E. Hughes, the undersigned, Assistant Secretary of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this 20th day of February, 2020



  
Kevin E. Hughes, Assistant Secretary

To verify the authenticity of this Power of Attorney, please call us at 1-800-421-3880.  
Please refer to the above-named Attorney-in-Fact and the details of the bond to which this Power of Attorney is attached.



### Power Of Attorney

#### BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY NATIONAL INDEMNITY COMPANY / NATIONAL LIABILITY & FIRE INSURANCE COMPANY

Know all men by these presents, that **BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY**, a corporation existing under and by virtue of the laws of the State of Nebraska and having an office at One Lincoln Street, 23rd Floor, Boston, Massachusetts 02111, **NATIONAL INDEMNITY COMPANY**, a corporation existing under and by virtue of the laws of the State of Nebraska and having an office at 3024 Harney Street, Omaha, Nebraska 68131 and **NATIONAL LIABILITY & FIRE INSURANCE COMPANY**, a corporation existing under and by virtue of the laws of the State of Connecticut and having an office at 100 First Stamford Place, Stamford, Connecticut 06902 (hereinafter collectively the "Companies"), pursuant to and by the authority granted as set forth herein, do hereby name, constitute and appoint **Michael J. Cusack, Nicole Roy, Nicholas Labbe, Gabriela Camacho, Sandra C. Lopes, Laurie Rothwell, Jean M. Feeney, John J. Gambino, Eric J. Canterbury, 131 Oliver Street, of the city of Boston, State of Massachusetts**, their true and lawful attorney(s)-in-fact to make, execute, seal, acknowledge, and deliver, for and on their behalf as surety and as their act and deed, any and all undertakings, bonds, or other such writings obligatory in the nature thereof, in pursuance of these presents, the execution of which shall be as binding upon the Companies as if it has been duly signed and executed by their regularly elected officers in their own proper persons. This authority for the Attorney-in-Fact shall be limited to the execution of the attached bond(s) or other such writings obligatory in the nature thereof.

In witness whereof, this Power of Attorney has been subscribed by an authorized officer of the Companies, and the corporate seals of the Companies have been affixed hereto this date of December 20, 2018. This Power of Attorney is made and executed pursuant to and by authority of the Bylaws, Resolutions of the Board of Directors, and other Authorizations of BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY, NATIONAL INDEMNITY COMPANY and NATIONAL LIABILITY & FIRE INSURANCE COMPANY, which are in full force and effect, each reading as appears on the back page of this Power of Attorney, respectively.

BERKSHIRE HATHAWAY SPECIALTY  
INSURANCE COMPANY,

By: \_\_\_\_\_  
David Fields, Executive Vice President



NATIONAL INDEMNITY COMPANY,  
NATIONAL LIABILITY & FIRE INSURANCE COMPANY,

By: \_\_\_\_\_  
David Fields, Vice President

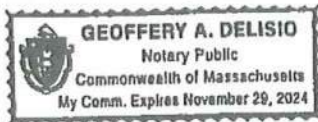


NOTARY

State of Massachusetts, County of Suffolk, ss:

On this 20th day of December, 2018, before me appeared David Fields, Executive Vice President of BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY and Vice President of NATIONAL INDEMNITY COMPANY and NATIONAL LIABILITY & FIRE INSURANCE COMPANY, who being duly sworn, says that his capacity is as designated above for such Companies, that he knows the corporate seals of the Companies, that the seals affixed to the foregoing instrument are such corporate seals; that they were affixed by order of the board of directors or other governing body of said Companies pursuant to its Bylaws, Resolutions and other Authorizations, and that he signed said instrument in that capacity of said Companies.

[Notary Seal]



Notary Public

I, Ralph Tortorella, the undersigned, Officer of BERKSHIRE HATHAWAY SPECIALTY INSURANCE COMPANY, NATIONAL INDEMNITY COMPANY and NATIONAL LIABILITY & FIRE INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies which is in full force and effect and has not been revoked. IN TESTIMONY WHEREOF, see hereunto affixed the seals of said Companies this February 20th, 2020



Officer

To verify the authenticity of this Power of Attorney please contact us at BHSISurety Department, Berkshire Hathaway Specialty Insurance Company, One Lincoln Street, 23rd Floor Boston, MA 02111 | (770) 625-2516 or by email at [ClaimsIntact@bhspecialty.com](mailto:ClaimsIntact@bhspecialty.com). THIS POWER OF ATTORNEY IS VOID IF ALTERED. To notify us of a claim please contact us on our 24-hour toll free number at (855) 453-9675, via email at [claimintact@bhspecialty.com](mailto:claimintact@bhspecialty.com), via fax to (617) 507-8259, or via mail.





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

6/19/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Alliant Insurance Services, Inc. 131 Oliver Street, 4th Floor Boston, MA 02110	<b>CONTACT NAME:</b> Stephen Turner <b>PHONE (A/C, No, Ext):</b> 617-535-7249 <b>E-MAIL ADDRESS:</b> sturner@alliant.com	<b>FAX (A/C, No):</b> 617-535-7205
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Gilbane Building Company 10 Channel Center Street Suite 100 Boston, MA 02210	<b>INSURER A:</b> American Guarantee and Liability Ins Co	<b>NAIC #</b> 26247
	<b>INSURER B:</b> Travelers Indemnity Company	25658
	<b>INSURER C:</b> Charter Oak Fire Insurance Com	25615
	<b>INSURER D:</b> National Fire & Marine Insuran	20079
	<b>INSURER E:</b> Travelers Indemnity Company of	25666
	<b>INSURER F:</b> Starr Indemnity & Liability Co	38318

**COVERAGES**

CERTIFICATE NUMBER: 502286962

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
B	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU included <input checked="" type="checkbox"/> Contractual Liab GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:	Y	Y	VTC2KCO - 2E970978 - 20	6/30/2020	6/30/2021	EACH OCCURRENCE \$ 3,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 3,000,000 GENERAL AGGREGATE \$ 6,000,000 PRODUCTS - COMP/OP AGG \$ 6,000,000 Deductible \$ 250,000
E	<input checked="" type="checkbox"/> <b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY	Y	Y	VTECAP - 2E97098A - 20	6/30/2020	6/30/2021	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
F	<input type="checkbox"/> <b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	Y	Y	1000584521201	6/30/2020	6/30/2021	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$
C	<input checked="" type="checkbox"/> <b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	VTC2OUB - 3P809062 - 20 VTR0UB - 3P811961 - 20	6/30/2020 6/30/2020	6/30/2021 6/30/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	1st Layer Excess Liab			AEC-9300324-19	6/30/2020	6/30/2021	Each Occ/Aggregate \$15,000,000
D	Contractors Pollution Professional Liability			42-CNP-304961-03	4/1/2020	4/1/2021	POLL/PROF Occ/Agg \$50,000,000 POLL/PROF SIR \$1M/\$2M

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Project #J08864.000, Michael Driscoll School.

Town of Brookline and its agents are included as Additional Insureds as required by written contract and executed prior to a loss, but limited to the operations of the Insured under said contract, with respect to the Automobile, General Liability and Umbrella/Excess Liability policies. A Waiver of Subrogation applies in favor of above mentioned additional insureds with respect to insured operations where required by written contract but limited to the operations of the Insured under said Contract and executed prior to a loss, with respect to the Automobile, General Liability, Workers Compensation and Umbrella/Excess Liability policies.

30 days' notice of cancellation or non-renewal will be provided to Certificate Holder, except 10 days' notice for cancellation for non-payment of premium.

**CERTIFICATE HOLDER****CANCELLATION**

Town of Brookline  
 Brookline Town Hall, 333 Washington Street  
 Brookline MA 02445

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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**Michael Driscoll School**

**Exhibit H**

**Project Schedule & Narrative**

**Michael Driscoll School  
Guaranteed Maximum Price**

## I. Contract Milestones

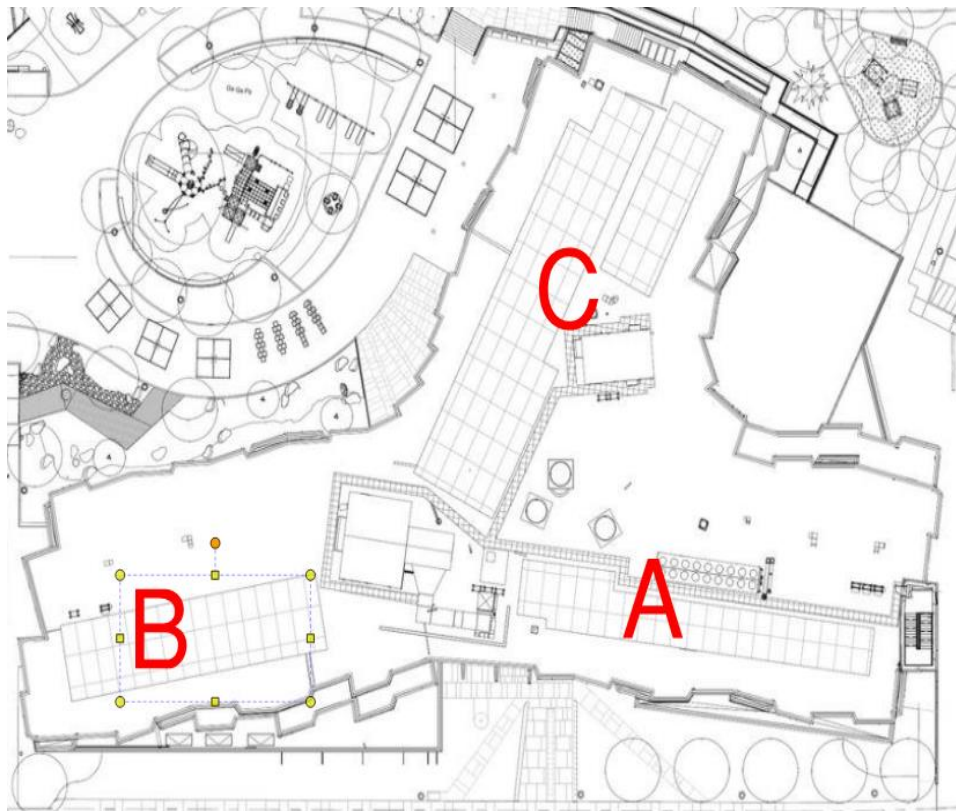
Contract Milestones	Target
New Building Certificate of Occupancy	8/16/23
New Building Substantial Completion	8/16/23
Demo & Final Sitework Substantial Completion	5/23/24
Project Completion	7/22/24

## II. Project Delivery Approach

The Michael Driscoll School project consists of construction of a new building to occupancy, and demolition of the existing structure along with site improvements and the development of new play areas.

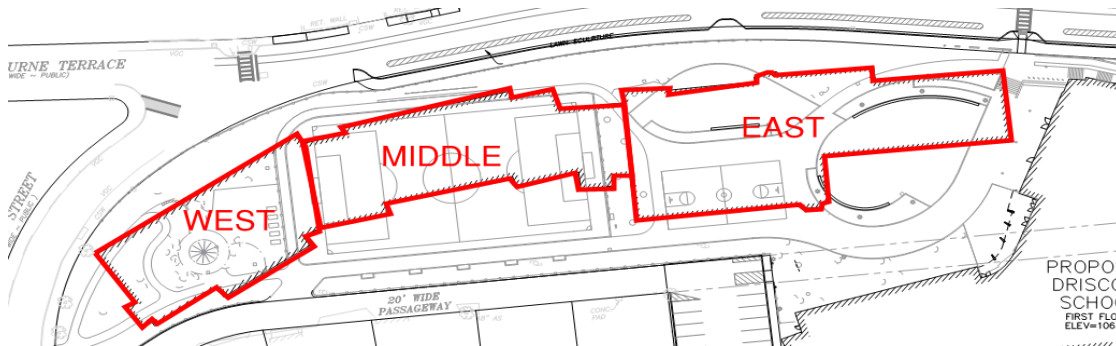
### Construction – Work Areas

The building was broken down into Areas A-C. These areas cover the four levels which include: Classrooms, Offices, Gymnasium, Cafeteria, and Auditorium. These areas are the fundamental organization of the work breakdown structure (WBS).



### Demolition – Work Areas

The current building will be broken down into East, Middle and West work areas.



### Construction – Execution Approach

The plan is to start work with early site work performing clearing and establishing temporary play areas. Flowing into sitework/excavation, installing geo piers and piles, installing a new drain line, and some remaining excavation for foundations.

The starting sequence of workflow for foundations will be A, C, B and finishing C, A, B. Steel erection will be C, A, B following their respective foundation finish sequence.

The envelope of the building will follow the same C, A, B sequence after the prerequisite steel erection/ detailing for each area. Roof work will also follow the same C, A, B sequence and will start in each respective area once exterior framing for that area is complete.

Interior work will start in C with A and B started following their respective slab on deck sequences.

Site improvement will begin shortly after interior construction. The overall sequence is as follows:

Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish
<b>DRISCOLL SCHOOL</b>					
<b>SUMMARY/MILESTONES</b>					
<b>Building Construction</b>					
SU-1050	Start Full Construction	0	0	14-Jun-21	
SU-1060	Sitework	157	157	14-Jun-21	27-Jan-22
SU-1070	Foundations	169	169	23-Nov-21	25-Jul-22
SU-1100	Sitework Complete	0	0		27-Jan-22
SU-1090	Structural Steel	107	107	31-Mar-22	30-Aug-22
SU-1120	Foundation Complete	0	0		25-Jul-22
SU-1010	Interior Construction - Gym & Auditorium	205	205	26-Jul-22	16-May-23
SU-1110	Structural Steel Complete	0	0		30-Aug-22
SU-1390	Interior Construction	202	202	23-Sep-22	12-Jul-23
SU-1130	Building Tight - All Areas	0	0		12-Jan-23

### III. Critical Path

The critical activities are defined as any activity having a total float of 5 days or less. Total float is the amount of time an activity can be delayed without impacting the target certificate of occupancy date of August 16, 2023. Critical activities are graphically shown in red below.

\*\* See Addendum A

### IV. Schedule Organization

The schedule reflects all activities necessary to achieve the project objectives from CM award date to project closeout.

#### Calendars

The schedule utilizes the following calendar:

- GBCO 5d Week w/ Holidays (DEFAULT GLOBAL CALENDAR)
  - This is a 5-day workweek with typical holidays.

#### Work Breakdown Structure (WBS)

The WBS is the basis of defining work packages and activities necessary to complete the project. The WBS covers all phases of the project which area:

- Preconstruction: this phase includes design, cost estimating, regulatory approval, MEP coordination and procurement.
- Construction: this phase is primarily organized by work type (sitework, foundations, steel etc.) and broken down further to building areas and floors.
- Turnover: this phase focuses on the inspections, substantial completion, and certificate of occupancy for the new building.
- Demolition & Final Sitework: this consists of three areas, East, Middle and West.
- Closeout includes start-up and commissioning, and closeout submittals

### V. Schedule Maintenance

Upon execution of the schedule, it will become the project performance measurement baseline schedule. The schedule is updated monthly, and progress will be evaluated against the baseline. The typical schedule update reports are listed below:

1. Full Schedule with Float of 5 Days or Less.
2. Critical Path
3. Variance to GMP
4. Variance to Prior Months Update
5. Schedule Narrative
6. Last Planner Reports



# ADDENDUM A



Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025																																																																																																																																							
						M				A				M				J				J				A				S				O				N				D				J				F				M				A				M				J				J				A				S				O				N				D				J				F				M				A				M				J				J				A				S				O				N				D				J				F				M				A				M				J				J				A				S				O				N				D			
						M				A				M				J				J				A				S				O				N				D				J				F				M				A				M				J				J				A				S				O				N				D				J				F				M				A				M				J				J				A				S				O				N				D																																																			
A2620	AREA B - L4 SOD - FRP	10	10	22-Sep-22	05-Oct-22	■ AREA B - L4 SOD - FRP																																																																																																																																																																																							
<b>INTERIOR CONSTRUCTION</b>																																																																																																																																																																																													
<b>Area C</b>																																																																																																																																																																																													
<b>Floor 1</b>																																																																																																																																																																																													
<b>Floor Base Mechanicals</b>																																																																																																																																																																																													
<b>Mech/Electrical Rooms</b>																																																																																																																																																																																													
CN - 8480	Build out Mechanical Room	80	80	10-Jun-22*	03-Oct-22	■ Build out Mechanical Room																																																																																																																																																																																							
CN - 8470	Build out Electrical Room	100	100	10-Jun-22*	31-Oct-22	■ Build out Electrical Room																																																																																																																																																																																							
<b>Area B (Multipurpose)</b>																																																																																																																																																																																													
<b>Floor 4</b>																																																																																																																																																																																													
CN - 11440	B4 - SOFP	10	10	06-Oct-22	19-Oct-22	■ B4 - SOFP																																																																																																																																																																																							
CN - 10180	B4 - R.I.O.H.Mechanical Piping	25	25	20-Oct-22	28-Nov-22	■ B4 - R.I.O.H.Mechanical Piping																																																																																																																																																																																							
CN - 10240	B4 - R.I.O.H.Duct & Install VAVs	20	20	27-Oct-22	28-Nov-22	■ B4 - R.I.O.H.Duct & Install VAVs																																																																																																																																																																																							
CN - 10190	B4 - R.I.O.H.Sprinkler	20	20	10-Nov-22	12-Dec-22	■ B4 - R.I.O.H.Sprinkler																																																																																																																																																																																							
CN - 10210	B4 - R.I.O.H.Plumbing	20	20	10-Nov-22	12-Dec-22	■ B4 - R.I.O.H.Plumbing																																																																																																																																																																																							
CN - 10250	B4 - Mech. Piping Insulation	10	10	29-Nov-22	12-Dec-22	■ B4 - Mech. Piping Insulation																																																																																																																																																																																							
CN - 10220	B4 - Install Stud Frames	15	15	13-Dec-22	04-Jan-23	■ B4 - Install Stud Frames																																																																																																																																																																																							
CN - 10130	B4 - In-Wall Electrical/FA/Controls	15	15	05-Jan-23	25-Jan-23	■ B4 - In-Wall Electrical/FA/Controls																																																																																																																																																																																							
CN - 10140	B4 - In-Wall Plumbing	10	10	12-Jan-23	25-Jan-23	■ B4 - In-Wall Plumbing																																																																																																																																																																																							
CN - 10120	B4 - In-Wall Inspection	5	5	26-Jan-23	01-Feb-23	■ B4 - In-Wall Inspection																																																																																																																																																																																							
CN - 10110	B4 - Board & Tape	25	25	02-Feb-23	08-Mar-23	■ B4 - Board & Tape																																																																																																																																																																																							
CN - 10100	B4 - Prime Paint	10	10	06-Mar-23	17-Mar-23	■ B4 - Prime Paint																																																																																																																																																																																							
CN - 10090	B4 - Install Ceiling Grid	20	20	20-Mar-23	14-Apr-23	■ B4 - Install Ceiling Grid																																																																																																																																																																																							
CN - 10150	B4 - Install Lighting	15	15	17-Apr-23	05-May-23	■ B4 - Install Lighting																																																																																																																																																																																							
CN - 10160	B4 - Install Duct Drop/Registers	15	15	17-Apr-23	05-May-23	■ B4 - Install Duct Drop/Registers																																																																																																																																																																																							
CN - 10060	B4 - Above Ceiling Inspection	1	1	08-May-23	08-May-23	■ B4 - Above Ceiling Inspection																																																																																																																																																																																							
CN - 10330	B4 - Apply Gypsum Floor Coat	10	10	09-May-23	22-May-23	■ B4 - Apply Gypsum Floor Coat																																																																																																																																																																																							
CN - 10080	B4 - Install Flooring	15	15	23-May-23	13-Jun-23	■ B4 - Install Flooring																																																																																																																																																																																							
CN - 10050	B4 - Final Paint	10	10	14-Jun-23	27-Jun-23	■ B4 - Final Paint																																																																																																																																																																																							
CN - 10040	B4 - Punch List	10	10	28-Jun-23	12-Jul-23	■ B4 - Punch List																																																																																																																																																																																							
<b>Floor 3</b>																																																																																																																																																																																													
CN - 2010	B3 - SOFP	10	10	20-Oct-22	02-Nov-22	■ B3 - SOFP																																																																																																																																																																																							
CN - 2040	B3 - R.I.O.H.Mechanical Piping	25	25	03-Nov-22	12-Dec-22	■ B3 - R.I.O.H.Mechanical Piping																																																																																																																																																																																							
CN - 2000	B3 - R.I.O.H.Duct & Install VAVs	20	20	10-Nov-22	12-Dec-22	■ B3 - R.I.O.H.Duct & Install VAVs																																																																																																																																																																																							
CN - 2200	B3 - R.I.O.H.Sprinkler	20	20	29-Nov-22	27-Dec-22	■ B3 - R.I.O.H.Sprinkler																																																																																																																																																																																							
CN - 2380	B3 - R.I.O.H.Plumbing	20	20	29-Nov-22	27-Dec-22	■ B3 - R.I.O.H.Plumbing																																																																																																																																																																																							
CN - 2180	B3 - Mech. Piping Insulation	10	10	13-Dec-22	27-Dec-22	■ B3 - Mech. Piping Insulation																																																																																																																																																																																							
CN - 2760	B3 - Install Stud Frames	15	15	28-Dec-22	18-Jan-23	■ B3 - Install Stud Frames																																																																																																																																																																																							
CN - 3050	B3 - In-Wall Electrical/FA/Controls	10	10	19-Jan-23	01-Feb-23	■ B3 - In-Wall Electrical/FA/Controls																																																																																																																																																																																							
CN - 3040	B3 - In-Wall Plumbing	10	10	19-Jan-23	01-Feb-23	■ B3 - In-Wall Plumbing																																																																																																																																																																																							
CN - 3280	B3 - In-Wall Inspection	5	5	02-Feb-23	08-Feb-23	■ B3 - In-Wall Inspection																																																																																																																																																																																							

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Remaining Level of Effort Critical...  
 Actual Level of Effort Milesto...  
 Actual Work  
 Remaining Work  
 Critical Remaining Work  
 Summary Milestones

**DRISCOLL SCHOOL**  
 GMP Baseline Schedule









Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021							2022							2023							2024							2025																																	
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D				
<b>DRISCOLL SCHOOL</b>																																																																			
<b>SUMMARY/MILESTONES</b>																																																																			
<b>Building Construction</b>																																																																			
SU-1050	Start Full Construction	0	0	14-Jun-21		◆ Start Full Construction																																																													
SU-1060	Sitework	157	157	14-Jun-21	27-Jan-22																																																														
SU-1070	Foundations	169	169	23-Nov-21	25-Jul-22																																																														
SU-1100	Sitework Complete	0	0		27-Jan-22	◆ Sitework Complete																																																													
SU-1090	Structural Steel	107	107	31-Mar-22	30-Aug-22																																																														
SU-1120	Foundation Complete	0	0		25-Jul-22	◆ Foundation Complete																																																													
SU-1010	Interior Construction - Gym & Auditorium	205	205	26-Jul-22	16-May-23																																																														
SU-1110	Structural Steel Complete	0	0		30-Aug-22	◆ Structural Steel Complete																																																													
SU-1390	Interior Construction	202	202	23-Sep-22	12-Jul-23																																																														
SU-1130	Building Tight - All Areas	0	0		12-Jan-23	◆ Building Tight - All Areas																																																													
<b>Testing/Checkout/Inspection</b>																																																																			
SU-1400	Building Inspections	20	20	13-Jul-23	09-Aug-23																																																														
SU-1320	Startup/Commissioning/Inspections/CO	35	35	20-Jul-23	07-Sep-23																																																														
SU-1410	Certificate of Occupancy	5	5	10-Aug-23	16-Aug-23																																																														
SU-1250	Building Substantial Completion	0	0		16-Aug-23	◆ Building Substantial Completion																																																													
SU-1300	Furnishing/Occupancy	22	22	17-Aug-23	18-Sep-23																																																														
<b>Demolition/Final Site</b>																																																																			
SU-1290	Building Closeout	60	60	17-Aug-23	09-Nov-23																																																														
SU-1310	Site Closeout	40	40	24-May-24	22-Jul-24																																																														
SU-1380	Project Complete	0	0		22-Jul-24	◆ Project Complete																																																													
<b>GMP</b>																																																																			
A1220	Submit GMP	1	1	21-May-21*	21-May-21	Submit GMP																																																													
A1230	GMP Review	20	20	24-May-21	21-Jun-21																																																														
A1240	Approve GMP	5	5	22-Jun-21	28-Jun-21																																																														
<b>PRE-CONSTRUCTION</b>																																																																			
<b>LEED</b>																																																																			
PR1350	Final LEED 10-month Commissioning	164	164	12-Jul-23	05-Mar-24																																																														
<b>Permitting &amp; Regulatory Filings</b>																																																																			
PR1720	Permits From Town Engineering Department	40	40	26-Apr-21 A	21-Jun-21																																																														
<b>PROCUREMENT</b>																																																																			
<b>Early Bid Packages</b>																																																																			
<b>Concrete Package</b>																																																																			
PR-1440	Develop Bid Package Foundations	10	10	26-Apr-21	07-May-21																																																														
PR-1460	Bidding Foundations	15	15	10-May-21	28-May-21																																																														
PR-1470	De-Scopes Foundations	5	5	01-Jun-21	07-Jun-21																																																														
PR-1540	Revised Bids Due	5	5	08-Jun-21	14-Jun-21																																																														
PR-1500	RTA to Client - Foundations	1	1	15-Jun-21	15-Jun-21	RTA to Client - Foundations																																																													
PR-1510	Client Approval - RTA Foundations	8	8	16-Jun-21	25-Jun-21																																																														

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Remaining Level of Effort	Critical...	Milesto...
Actual Level of Effort	Milesto...	
Actual Work		
Remaining Work		
Critical Remaining Work		
Summary Milestones		

**DRISCOLL SCHOOL**  
**GMP Baseline Schedule**



Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025											
						M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J											
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D		
PR-9530	Foundations award - Start Rebar Shop Drawings (Risk)	6	6	25-Jun-21	02-Jul-21	█ Foundations award - Start Rebar Shop Drawings (Risk)																																																											
PR-9540	Design review/approval Rebar	10	10	06-Jul-21	19-Jul-21	█ Design review/approval Rebar																																																											
PR-9550	Fab/Deliver reinforcing footings	5	5	19-Jul-21	23-Jul-21	█ Fab/Deliver reinforcing footings																																																											
PR-9560	Fab/Deliver reinforcing foundation walls	5	5	23-Jul-21	29-Jul-21	█ Fab/Deliver reinforcing foundation walls																																																											
<b>Structural Steel</b>																																																																	
PR-9570	Develop Bid Package Structural Steel	5	5	26-Apr-21	30-Apr-21	█ Develop Bid Package Structural Steel																																																											
PR-9580	Bidding Structural Steel	20	20	03-May-21	28-May-21	█ Bidding Structural Steel																																																											
PR-9590	De-Scopes Structural Steel	5	5	01-Jun-21	07-Jun-21	█ De-Scopes Structural Steel																																																											
PR-11560	Revised Bids Due	5	5	08-Jun-21	14-Jun-21	█ Revised Bids Due																																																											
PR-9600	RTA to Client - Structural Steel	4	4	15-Jun-21	18-Jun-21	█ RTA to Client - Structural Steel																																																											
PR-9610	Client Approval - RTA Structural Steel	5	5	21-Jun-21	25-Jun-21	█ Client Approval - RTA Structural Steel																																																											
PR-1710	Anchor Bolt Shop Drawings	10	10	06-Jul-21	19-Jul-21	█ Anchor Bolt Shop Drawings																																																											
PR-9620	Start Shop Drawings (First Release)	30	30	20-Jul-21	30-Aug-21	█ Start Shop Drawings (First Release)																																																											
PR-9630	Design review/approval Struct Steel (First Release)	10	10	31-Aug-21	14-Sep-21	█ Design review/approval Struct Steel (First Release)																																																											
PR-9640	Fab/Deliver Struct Steel (First Release)	10	10	15-Sep-21	28-Sep-21	█ Fab/Deliver Struct Steel (First Release)																																																											
<b>Balance of Packages</b>																																																																	
PR-9660	Bidding Non-Trade Bid Packages	25	17	26-Feb-21 A	28-Jun-21	█ Bidding Non-Trade Bid Packages																																																											
PR-1750	Reconcile & Award Non- Trade Bid Packages	20	20	15-Jun-21	13-Jul-21	█ Reconcile & Award Non- Trade Bid Packages																																																											
PR-1790	Non- Trade Package Submittals	60	60	22-Jun-21	15-Sep-21	█ Non- Trade Package Submittals																																																											
PR-1820	Non- Trade Package Submittals Rev/Approvals	60	60	07-Jul-21	29-Sep-21	█ Non- Trade Package Submittals Rev/Approvals																																																											
PR-1850	Fab/Deliver Non- Trade Packages Materials	80	80	21-Jul-21	10-Nov-21	█ Fab/Deliver Non- Trade Packages Materials																																																											
<b>Filed Sub Bid Packages</b>																																																																	
<b>Trade Bid Packages</b>																																																																	
<b>Mechanical</b>																																																																	
<b>Chillers</b>																																																																	
PR-10030	Develop Bid Package Chillers	15	15	26-Apr-21	14-May-21	█ Develop Bid Package Chillers																																																											
PR-10040	Bidding Chillers Packages	30	30	17-May-21	28-Jun-21	█ Bidding Chillers Packages																																																											
PR-10050	Reconcile & Award Chillers Packages	10	10	29-Jun-21	13-Jul-21	█ Reconcile & Award Chillers Packages																																																											
PR-10060	Chillers Packages Submittals	15	15	04-Aug-21	24-Aug-21	█ Chillers Packages Submittals																																																											
PR-10070	Chillers Packages Submittals Rev/Approvals	15	15	25-Aug-21	15-Sep-21	█ Chillers Packages Submittals Rev/Approvals																																																											
PR-10080	Fab/Deliver Chillers	40	40	16-Sep-21	10-Nov-21	█ Fab/Deliver Chillers																																																											
<b>VAV and AHU</b>																																																																	
PR-9970	Develop Bid Package VAV & AHU	15	15	26-Apr-21	14-May-21	█ Develop Bid Package VAV & AHU																																																											
PR-9980	Bidding VAV & AHU Packages	30	30	17-May-21	28-Jun-21	█ Bidding VAV & AHU Packages																																																											
PR-9990	Reconcile & Award VAV & AHU Packages	10	10	29-Jun-21	13-Jul-21	█ Reconcile & Award VAV & AHU Packages																																																											
PR-10000	VAV & AHU Packages Submittals	15	15	14-Jul-21	03-Aug-21	█ VAV & AHU Packages Submittals																																																											
PR-10010	VAV & AHU Packages Submittals Rev/Approvals	15	15	04-Aug-21	24-Aug-21	█ VAV & AHU Packages Submittals Rev/Approvals																																																											
PR-10020	Fab/Deliver VAV & AHU Packages	60	60	25-Aug-21	18-Nov-21	█ Fab/Deliver VAV & AHU Packages																																																											
<b>Electrical/ Telecom/ Security</b>																																																																	
PR-9850	Develop Bid Package Electrical/ Telecom/ Security	15	15	26-Apr-21	14-May-21	█ Develop Bid Package Electrical/ Telecom/ Security																																																											
PR-9860	Bidding Electrical/ Telecom/ Security Package	30	30	17-May-21	28-Jun-21	█ Bidding Electrical/ Telecom/ Security Package																																																											

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	Remaining Level of Effort		Critical...
	Actual Level of Effort		Milesto...
	Actual Work		
	Remaining Work		
	Critical Remaining Work		
	Summary Milestones		

**DRISCOLL SCHOOL**  
 GMP Baseline Schedule





Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025											
						M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D											
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D		
PR-11360	Bidding Misc Metals Package	30	30	17-May-21	28-Jun-21	■ Bidding Misc Metals Package																																																											
PR-11370	Reconcile & Award Misc Metals Package	10	10	29-Jun-21	13-Jul-21	■ Reconcile & Award Misc Metals Package																																																											
PR-11380	Misc Metals Submittals	15	15	14-Jul-21	03-Aug-21	■ Misc Metals Submittals																																																											
PR-11390	Misc Metals Submittals Rev/Approvals	15	15	04-Aug-21	24-Aug-21	■ Misc Metals Submittals Rev/Approvals																																																											
PR-11400	Fab/Deliver Misc Metals	40	40	25-Aug-21	20-Oct-21	■ Fab/Deliver Misc Metals																																																											
<b>Resilient Flooring</b>																																																																	
PR-11410	Develop Bid Package Resilient Flooring	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Resilient Flooring																																																											
PR-11420	Bidding Resilient Flooring Package	30	30	17-May-21	28-Jun-21	■ Bidding Resilient Flooring Package																																																											
PR-11430	Reconcile & Award Resilient Flooring Package	10	10	29-Jun-21	13-Jul-21	■ Reconcile & Award Resilient Flooring Package																																																											
PR-11440	Resilient Flooring Submittals	15	15	14-Jul-21	03-Aug-21	■ Resilient Flooring Submittals																																																											
PR-11450	Resilient Flooring Submittals Rev/Approvals	15	15	04-Aug-21	24-Aug-21	■ Resilient Flooring Submittals Rev/Approvals																																																											
PR-11460	Fab/Deliver Resilient Flooring	40	40	25-Aug-21	20-Oct-21	■ Fab/Deliver Resilient Flooring																																																											
<b>Roofing &amp; Metal Flashings</b>																																																																	
PR-10500	Develop Bid Package Roofing & Metal Flashings	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Roofing & Metal Flashings																																																											
PR-10510	Bidding Roofing & Metal Flashings Packages	30	30	17-May-21	28-Jun-21	■ Bidding Roofing & Metal Flashings Packages																																																											
PR-10520	Reconcile & Award Roofing & Metal Flashings Package	10	10	29-Jun-21	13-Jul-21	■ Reconcile & Award Roofing & Metal Flashings Package																																																											
PR-10530	Roofing & Metal Flashings Package Submittals	15	15	14-Jul-21	03-Aug-21	■ Roofing & Metal Flashings Package Submittals																																																											
PR-10540	Roofing & Metal Flashings Package Submittals Rev/Approvals	15	15	04-Aug-21	24-Aug-21	■ Roofing & Metal Flashings Package Submittals Rev/Approvals																																																											
PR-10550	Fab/Deliver Roofing & Metal Flashings	40	40	25-Aug-21	20-Oct-21	■ Fab/Deliver Roofing & Metal Flashings																																																											
<b>Painting</b>																																																																	
PR-10560	Develop Bid Package Painting	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Painting																																																											
PR-10570	Bidding Painting Packages	30	30	17-May-21	28-Jun-21	■ Bidding Painting Packages																																																											
PR-10580	Reconcile & Award Painting Package	7	7	29-Jun-21	08-Jul-21	■ Reconcile & Award Painting Package																																																											
PR-10590	Painting Package Submittals	0	0	09-Jul-21	09-Jul-21	■ Painting Package Submittals																																																											
PR-10600	Painting Package Submittals Rev/Approvals	15	15	09-Jul-21	29-Jul-21	■ Painting Package Submittals Rev/Approvals																																																											
PR-10610	Fab/Deliver Painting	40	40	30-Jul-21	24-Sep-21	■ Fab/Deliver Painting																																																											
<b>Fire Protection</b>																																																																	
PR-5720	Develop Bid Package Fire Protection Equipment	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Fire Protection Equipment																																																											
PR-10740	Bidding Fire Protection Equipment Packages	30	30	17-May-21	28-Jun-21	■ Bidding Fire Protection Equipment Packages																																																											
PR-10750	Reconcile & Award Fire Protection Equipment Package	10	10	29-Jun-21	13-Jul-21	■ Reconcile & Award Fire Protection Equipment Package																																																											
PR-10760	Fire Protection Equipment Package Submittals	15	15	14-Jul-21	03-Aug-21	■ Fire Protection Equipment Package Submittals																																																											
PR-10770	Fire Protection Equipment Package Submittals Rev/Approvals	40	40	04-Aug-21	29-Sep-21	■ Fire Protection Equipment Package Submittals Rev/Approvals																																																											
PR-10780	Fab/Deliver Fire Protection Equipment	60	60	30-Sep-21	28-Dec-21	■ Fab/Deliver Fire Protection Equipment																																																											
<b>Glass &amp; Glazing</b>																																																																	
PR-10790	Develop Bid Package Glass & Glazing	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Glass & Glazing																																																											
PR-10800	Bidding Glass & Glazing Packages	30	30	17-May-21	28-Jun-21	■ Bidding Glass & Glazing Packages																																																											
PR-10810	Reconcile & Award Glass & Glazing Package	14	14	29-Jun-21	19-Jul-21	■ Reconcile & Award Glass & Glazing Package																																																											
PR-10820	Glass & Glazing Package Submittals	15	15	20-Jul-21	09-Aug-21	■ Glass & Glazing Package Submittals																																																											
PR-10830	Glass & Glazing Package Submittals Rev/Approvals	15	15	10-Aug-21	30-Aug-21	■ Glass & Glazing Package Submittals Rev/Approvals																																																											
PR-10840	Fab/Deliver Glass & Glazing	40	40	31-Aug-21	26-Oct-21	■ Fab/Deliver Glass & Glazing																																																											

**Non Filed Sub Bid Packages**

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■ Remaining Level of Effort ◆ Critical...  
■ Actual Level of Effort ◆ Milesto...  
■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Summary Milestones

**DRISCOLL SCHOOL**  
 GMP Baseline Schedule



Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021					2022					2023					2024					2025																																					
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D
<b>Sub-Contractor Bid Packages</b>																																																															
<b>Windows, Curtainwall, Skylights &amp; Louvers</b>																																																															
PR-9910	Develop Bid Package Windows, Curtainwall, Skylights & Louvers	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Windows, Curtainwall, Skylights & Louvers																																																									
PR-9920	Bidding Windows, Curtainwall, Skylights & Louvers Package	30	30	17-May-21	28-Jun-21	■ Bidding Windows, Curtainwall, Skylights & Louvers Package																																																									
PR-9930	Reconcile & Award Windows, Curtainwall, Skylights & Louvers Package	10	10	29-Jun-21	13-Jul-21	■ Reconcile & Award Windows, Curtainwall, Skylights & Louvers Package																																																									
PR-9940	Windows, Curtainwall, Skylights & Louvers Packages Submittals	15	15	14-Jul-21	03-Aug-21	■ Windows, Curtainwall, Skylights & Louvers Packages Submittals																																																									
PR-9950	Windows, Curtainwall, Skylights & Louvers Packages Submittals Rev/Approvals	15	15	04-Aug-21	24-Aug-21	■ Windows, Curtainwall, Skylights & Louvers Packages Submittals Rev/Approvals																																																									
PR-9960	Fab/Deliver Windows, Curtainwall, Skylights & Louvers	70	70	25-Aug-21	06-Dec-21	■ Fab/Deliver Windows, Curtainwall, Skylights & Louvers																																																									
PR-11150	Fab/Deliver Polymer Windows	70	70	25-Aug-21	06-Dec-21	■ Fab/Deliver Polymer Windows																																																									
PR-11160	Fab/Deliver Skylights	50	50	25-Aug-21	03-Nov-21	■ Fab/Deliver Skylights																																																									
<b>Metal Panels</b>																																																															
PR-11470	Develop Bid Package Metal Panels	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Metal Panels																																																									
PR-11480	Bidding Metal Panels Package	20	20	17-May-21	14-Jun-21	■ Bidding Metal Panels Package																																																									
PR-11490	Reconcile & Award Metal Panels Package	15	15	15-Jun-21	06-Jul-21	■ Reconcile & Award Metal Panels Package																																																									
PR-11500	Metal Panels Package Submittals	15	15	07-Jul-21	27-Jul-21	■ Metal Panels Package Submittals																																																									
PR-11510	Metal Panels Package Submittals Rev/Approvals	13	13	28-Jul-21	13-Aug-21	■ Metal Panels Package Submittals Rev/Approvals																																																									
PR-11520	Fab/Deliver Metal Panels	60	60	16-Aug-21	08-Nov-21	■ Fab/Deliver Metal Panels																																																									
<b>Demolition</b>																																																															
PR-11260	Demolition Package Submittals	15	15	23-Apr-21 A	14-May-21	■ Demolition Package Submittals																																																									
PR-11270	Demolition Package Submittals Rev/Approvals	13	13	17-May-21	03-Jun-21	■ Demolition Package Submittals Rev/Approvals																																																									
PR-11280	Fab/Deliver Demolition	40	40	04-Jun-21	30-Jul-21	■ Fab/Deliver Demolition																																																									
<b>Food Service</b>																																																															
PR-11290	Develop Bid Package Food Service	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Food Service																																																									
PR-11300	Bidding Food Service Package	20	20	17-May-21	14-Jun-21	■ Bidding Food Service Package																																																									
PR-11310	Reconcile & Award Food Service Package	15	15	15-Jun-21	06-Jul-21	■ Reconcile & Award Food Service Package																																																									
PR-11320	Food Service Package Submittals	15	15	07-Jul-21	27-Jul-21	■ Food Service Package Submittals																																																									
PR-11330	Food Service Package Submittals Rev/Approvals	13	13	28-Jul-21	13-Aug-21	■ Food Service Package Submittals Rev/Approvals																																																									
PR-11340	Fab/Deliver Food Service	40	40	16-Aug-21	11-Oct-21	■ Fab/Deliver Food Service																																																									
<b>Doors, Frames, Hardware</b>																																																															
PR-10210	Develop Bid Package Doors, Frames & Hardware	15	15	26-Apr-21	14-May-21	■ Develop Bid Package Doors, Frames & Hardware																																																									
PR-10220	Bidding Doors, Frames & Hardware Package	15	15	17-May-21	07-Jun-21	■ Bidding Doors, Frames & Hardware Package																																																									
PR-10230	Reconcile & Award Doors, Frames & Hardware Package	10	10	08-Jun-21	21-Jun-21	■ Reconcile & Award Doors, Frames & Hardware Package																																																									
PR-10240	Doors, Frames & Hardware Package Submittals	22	22	22-Jun-21	22-Jul-21	■ Doors, Frames & Hardware Package Submittals																																																									
PR-10250	Doors, Frames & Hardware Package Submittals Rev/Approvals	15	15	23-Jul-21	12-Aug-21	■ Doors, Frames & Hardware Package Submittals Rev/Approvals																																																									
PR-10260	Fab/Deliver Doors, Frames & Hardware	40	40	13-Aug-21	08-Oct-21	■ Fab/Deliver Doors, Frames & Hardware																																																									
<b>Epoxy Flooring</b>																																																															
PR-10700	Reconcile & Award Epoxy Flooring Package	15	15	16-Apr-21 A	14-May-21	■ Reconcile & Award Epoxy Flooring Package																																																									
PR-10710	Epoxy Flooring Package Submittals	15	15	17-May-21	07-Jun-21	■ Epoxy Flooring Package Submittals																																																									
PR-10720	Epoxy Flooring Package Submittals Rev/Approvals	8	8	08-Jun-21	17-Jun-21	■ Epoxy Flooring Package Submittals Rev/Approvals																																																									
PR-10730	Fab/Deliver Epoxy Flooring	40	40	18-Jun-21	13-Aug-21	■ Fab/Deliver Epoxy Flooring																																																									
<b>Wood Flooring</b>																																																															

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■ Remaining Level of Effort	◆ Critical Milestones
■ Actual Level of Effort	◆ Milestones
■ Actual Work	
■ Remaining Work	
■ Critical Remaining Work	
◆ Summary Milestones	

**DRISCOLL SCHOOL**  
GMP Baseline Schedule



















Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025											
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D		
A2620	AREA B - L4 SOD - FRP	10	10	22-Sep-22	05-Oct-22																									■ AREA B - L4 SOD - FRP																																			
A2630	AREA B - Roof SOD - FRP	10	10	06-Oct-22	19-Oct-22																									■ AREA B - Roof SOD - FRP																																			
<b>Slab on Grade</b>																																																																	
A3120	Backfill and Install Stone Areas A/C	15	15	09-Sep-22	29-Sep-22																									■ Backfill and Install Stone Areas A/C																																			
A3250	Backfill and Install Stone Area B	10	10	22-Sep-22	05-Oct-22																									■ Backfill and Install Stone Area B																																			
A3140	Install Vapor Barrier Areas A/C	15	15	30-Sep-22	20-Oct-22																									■ Install Vapor Barrier Areas A/C																																			
A3280	Install Vapor Barrier Area B	10	10	06-Oct-22	19-Oct-22																									■ Install Vapor Barrier Area B																																			
A3300	Install Underground Utilities Area B	15	15	20-Oct-22	09-Nov-22																									■ Install Underground Utilities Area B																																			
A3230	Install Underground Utilities Areas A/C	20	20	21-Oct-22	18-Nov-22																									■ Install Underground Utilities Areas A/C																																			
A2680	Area A/C SOG	25	25	21-Nov-22	28-Dec-22																									■ Area A/C SOG																																			
A2690	Area B - SOG - FRP	10	10	29-Dec-22	12-Jan-23																									■ Area B - SOG - FRP																																			
<b>VERTICAL CIRCULATION/ ATRIUM</b>																																																																	
CN-4690	Erect three Center Columns	44	44	11-Aug-22	12-Oct-22																									■ Erect three Center Columns																																			
CN-4680	Install Atrium Stairs	10	10	11-Aug-22	24-Aug-22																									■ Install Atrium Stairs																																			
CN-1340	Install Stairs	40	40	25-Aug-22	20-Oct-22																									■ Install Stairs																																			
CN-4730	Install Gabled Skylights	44	44	14-Oct-22	19-Dec-22																									■ Install Gabled Skylights																																			
CN-4450	Install Elevator	40	40	13-Jan-23	09-Mar-23																									■ Install Elevator																																			
<b>INTERIOR CONSTRUCTION</b>																																																																	
<b>Area A</b>																																																																	
<b>Floor 4 Classrooms</b>																																																																	
CN - 11370	A4 - SOFP	10	10	23-Sep-22	06-Oct-22																									■ A4 - SOFP																																			
CN - 10960	A4 - R.I.O.H.Duct & Install VAVs	25	25	07-Oct-22	10-Nov-22																									■ A4 - R.I.O.H.Duct & Install VAVs																																			
CN - 10900	A4 - R.I.O.H.Mechanical Piping	25	25	17-Oct-22	21-Nov-22																									■ A4 - R.I.O.H.Mechanical Piping																																			
CN - 10910	A4 - R.I.O.H.Sprinkler	25	25	21-Oct-22	29-Nov-22																									■ A4 - R.I.O.H.Sprinkler																																			
CN - 10930	A4 - R.I.O.H.Plumbing	20	20	21-Oct-22	18-Nov-22																									■ A4 - R.I.O.H.Plumbing																																			
CN - 10920	A4 - R.I.O.H.Electrical/FA/Controls	10	10	22-Nov-22	07-Dec-22																									■ A4 - R.I.O.H.Electrical/FA/Controls																																			
CN - 10950	A4 - Tie-in Mech Piping to VAVs	2	2	22-Nov-22	23-Nov-22																									■ A4 - Tie-in Mech Piping to VAVs																																			
CN - 10970	A4 - Mech. Piping Inspection	5	5	22-Nov-22	30-Nov-22																									■ A4 - Mech. Piping Inspection																																			
CN - 10940	A4 - Install Stud Frames	15	15	01-Dec-22	21-Dec-22																									■ A4 - Install Stud Frames																																			
CN - 10980	A4 - Tie-in Electrical & Controls to VAVs	2	2	08-Dec-22	09-Dec-22																									■ A4 - Tie-in Electrical & Controls to VAVs																																			
CN - 10850	A4 - In-Wall Electrical/FA/Controls	15	15	22-Dec-22	13-Jan-23																									■ A4 - In-Wall Electrical/FA/Controls																																			
CN - 10860	A4 - In-Wall Plumbing	15	15	22-Dec-22	13-Jan-23																									■ A4 - In-Wall Plumbing																																			
CN - 10840	A4 - In-Wall Inspection	5	5	16-Jan-23	20-Jan-23																									■ A4 - In-Wall Inspection																																			
CN - 10830	A4 - Board & Tape	25	25	23-Jan-23	24-Feb-23																									■ A4 - Board & Tape																																			
CN - 10820	A4 - Prime Paint	10	10	22-Feb-23	07-Mar-23																									■ A4 - Prime Paint																																			
CN - 10650	A4 - Paint Electric Closet	2	2	27-Feb-23	28-Feb-23																									■ A4 - Paint Electric Closet																																			
CN - 10710	A4 - Install Int Glazing/Borrow Light	15	15	27-Feb-23	17-Mar-23																									■ A4 - Install Int Glazing/Borrow Light																																			
CN - 10990	A4 - Install Electric Panels	5	5	01-Mar-23	07-Mar-23																									■ A4 - Install Electric Panels																																			
CN - 10810	A4 - Install Ceiling Grid	20	20	08-Mar-23	04-Apr-23																									■ A4 - Install Ceiling Grid																																			
CN - 11000	A4 - Pull & Terminate Primary Line	5	5	08-Mar-23	14-Mar-23																									■ A4 - Pull & Terminate Primary Line																																			
CN - 10870	A4 - Install Lighting	10	10	05-Apr-23	18-Apr-23																									■ A4 - Install Lighting																																			

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■ Remaining Level of Effort ◆ Critical...  
■ Actual Level of Effort ◆ Milesto...  
■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Summary Milestones

## DRISCOLL SCHOOL

### GMP Baseline Schedule















Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025																																																																							
						M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J																																																																							
CN - 10360	C4 - Install Doors & Hardware	5	5	07-Feb-23	13-Feb-23																																																													■ C4- Install Doors & Hardware																																																											
CN - 10410	C4 - Final Paint	10	10	07-Feb-23	20-Feb-23																																																													■ C4 - Final Paint																																																											
CN - 10400	C4 - Punch List	10	10	21-Feb-23	06-Mar-23																																																													■ C4 - Punch List																																																											
CN - 10390	C4 - Final Clean	5	5	07-Mar-23	13-Mar-23																																																													■ C4- Final Clean																																																											
CN - 10370	C4 Complete	0	0		13-Mar-23																																																													◆ C4 Complete																																																											
<b>Floor 3 Classrooms</b>																																																																																																																													
CN - 11410	C3 - SOFP	10	10	27-Jul-22	09-Aug-22																																																													■ C3- SOFP																																																											
CN - 9460	C3 - R.I.O.H.Mechanical Piping	20	20	10-Aug-22	07-Sep-22																																																													■ C3 - R.I.O.H.Mechanical Piping																																																											
CN - 9520	C3 - R.I.O.H.Duct & Install VAVs	20	20	10-Aug-22	07-Sep-22																																																													■ C3 - R.I.O.H.Duct & Install VAVs																																																											
CN - 9470	C3 - R.I.O.H.Sprinkler	20	20	24-Aug-22	21-Sep-22																																																													■ C3 - R.I.O.H.Sprinkler																																																											
CN - 9490	C3 - R.I.O.H.Plumbing	20	20	24-Aug-22	21-Sep-22																																																													■ C3 - R.I.O.H.Plumbing																																																											
CN - 9510	C3 - Tie-in Mech Piping to VAVs	2	2	08-Sep-22	09-Sep-22																																																													■ C3 - Tie-in Mech.Piping to VAVs																																																											
CN - 9530	C3 - Mech. Piping Insulation	5	5	08-Sep-22	14-Sep-22																																																													■ C3- Mech. Piping Insulation																																																											
CN - 9480	C3 - R.I.O.H.Electrical/FA/Controls	10	10	22-Sep-22	05-Oct-22																																																													■ C3 - R.I.O.H.Electrical/FA/Controls																																																											
CN - 9500	C3 - Install Stud Frames	15	15	22-Sep-22	12-Oct-22																																																													■ C3- Install Stud Frames																																																											
CN - 9540	C3 - Tie-in Electrical & Controls to VAVs	2	2	06-Oct-22	07-Oct-22																																																													■ C3 - Tie-in Electrical & Controls to VAVs																																																											
CN - 9410	C3 - In-Wall Electrical/FA/Controls	10	10	13-Oct-22	26-Oct-22																																																													■ C3 - In-Wall Electrical/FA/Controls																																																											
CN - 9420	C3 - In-Wall Plumbing	10	10	13-Oct-22	26-Oct-22																																																													■ C3 - In-Wall Plumbing																																																											
CN - 9400	C3 - In-Wall Inspection	1	1	27-Oct-22	27-Oct-22																																																													■ C3 - In-Wall Inspection																																																											
CN - 9390	C3 - Board & Tape	25	25	28-Oct-22	06-Dec-22																																																													■ C3 - Board & Tape																																																											
CN - 9380	C3 - Prime Paint	10	10	02-Dec-22	15-Dec-22																																																													■ C3- Prime Paint																																																											
CN - 9210	C3 - Paint Electric Closet	2	2	07-Dec-22	08-Dec-22																																																													■ C3 - Paint Electric Closet																																																											
CN - 9270	C3 - Install Int Glazing/Borrow Light	15	15	07-Dec-22	28-Dec-22																																																													■ C3 -Install Int Glazing/Borrow Light																																																											
CN - 9550	C3 - Install Electric Panels	5	5	09-Dec-22	15-Dec-22																																																													■ C3- Install Electric Panels																																																											
CN - 9370	C3 - Install Ceiling Grid	15	15	16-Dec-22	09-Jan-23																																																													■ C3 - Install Ceiling Grid																																																											
CN - 9560	C3 - Pull & Terminate Primary Line	5	5	16-Dec-22	22-Dec-22																																																													■ C3 - Pull & Terminate Primary Line																																																											
CN - 9430	C3 - Install Lighting	10	10	10-Jan-23	23-Jan-23																																																													■ C3 - Install Lighting																																																											
CN - 9440	C3 - Install Duct Drop/Registers	10	10	10-Jan-23	23-Jan-23																																																													■ C3 - Install Duct Drop/Registers																																																											
CN - 9450	C3 - Install Sprinkler Heads	5	5	10-Jan-23	16-Jan-23																																																													■ C3 - Install Sprinkler Heads																																																											
CN - 9340	C3 - Above Ceiling Inspection	1	1	24-Jan-23	24-Jan-23																																																													■ C3 - Above Ceiling Inspection																																																											
CN - 9610	C3 - Apply Gypsum Floor Coat	4	4	25-Jan-23	30-Jan-23																																																													■ C3 -Apply Gypsum Floor Coat																																																											
CN - 9230	C3 - install Toilet Rooms Floor Tile	5	5	25-Jan-23	31-Jan-23																																																													■ C3 -install Toilet Rooms Floor Tile																																																											
CN - 9300	C3 - FA & Wall Mnted Devices	10	10	25-Jan-23	07-Feb-23																																																													■ C3 - FA & Wall Mnted Devices																																																											
CN - 9350	C3 - Close Ceiling	5	5	25-Jan-23	31-Jan-23																																																													■ C3 - Close Ceiling																																																											
CN - 9260	C3 - Millwork	15	15	31-Jan-23	20-Feb-23																																																													■ C3 - Millwork																																																											
CN - 9360	C3 - Install Flooring	15	15	31-Jan-23	20-Feb-23																																																													■ C3 - Install Flooring																																																											
CN - 9220	C3 - Install Plumbing Fixtures & Tie-in	5	5	01-Feb-23	07-Feb-23																																																													■ C3 - Install Plumbing Fixtures & Tie-in																																																											
CN - 9240	C3 - Install Toilet Accessories	5	5	08-Feb-23	14-Feb-23																																																													■ C3 - Install Toilet Accessories																																																											
CN - 9280	C3 - Install Doors & Hardware	5	5	21-Feb-23	27-Feb-23																																																													■ C3 - Install Doors & Hardware																																																											
CN - 9330	C3 - Final Paint	10	10	21-Feb-23	06-Mar-23																																																													■ C3 - Final Paint																																																											
CN - 9320	C3 - Punch List	10	10	07-Mar-23	20-Mar-23																																																													■ C3 - Punch List																																																											

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■ Remaining Level of Effort ◆ Critical...  
■ Actual Level of Effort ◆ Milesto...  
■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Summary Milestones

## DRISCOLL SCHOOL

### GMP Baseline Schedule



















Activity ID	Activity Name	Orig Dur	Remaining Duration	Start	Finish	2021												2022												2023												2024												2025											
						M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D												J F M A M J J A S O N D											
						M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D		
<b>Area B - Auditorium</b>																																																																	
<b>High Elevation</b>																																																																	
CN - 1910	Aud - Build Interior Partitions - Upper Level	10	10	26-Jul-22	08-Aug-22	■ Aud - Build Interior Partitions - Upper Level																																																											
CN - 2130	Build Temp Platform - Aud High Elev	10	10	23-Aug-22	06-Sep-22	■ Build Temp Platform - Aud High Elev																																																											
CN - 2210	Install Stud Frames - Aud High Elev	10	10	07-Sep-22	20-Sep-22	■ Install Stud Frames - Aud High Elev																																																											
CN - 2270	Install Catwalk - Aud High Elev	10	10	21-Sep-22	04-Oct-22	■ Install Catwalk - Aud High Elev																																																											
CN - 2260	In-wall Electrical/FA/Controls - Aud High Elev	10	10	21-Sep-22	04-Oct-22	■ In-wall Electrical/FA/Controls - Aud High Elev																																																											
CN - 2480	Install Stage Equipment Hanging System - Aud High Elev	10	10	05-Oct-22	18-Oct-22	■ Install Stage Equipment Hanging System - Aud High Elev																																																											
CN - 2470	In-wall Inspection - Aud High Elev	5	5	05-Oct-22	11-Oct-22	■ In-wall Inspection - Aud High Elev																																																											
CN - 2560	Board & Tape - Aud High Elev	15	15	12-Oct-22	01-Nov-22	■ Board & Tape - Aud High Elev																																																											
CN - 2830	Prime Paint - Aud High Elev	5	5	02-Nov-22	08-Nov-22	■ Prime Paint - Aud High Elev																																																											
CN - 2880	R.I.O.H.Electrical/FA/Controls - Aud High Elev	10	10	09-Nov-22	23-Nov-22	■ R.I.O.H.Electrical/FA/Controls - Aud High Elev																																																											
CN - 2870	R.I.O.H.Duct - Aud High Elev	15	15	09-Jan-23	27-Jan-23	■ R.I.O.H.Duct - Aud High Elev																																																											
CN - 3120	R.I.O.H.Sprinkler - Aud High Elev	7	7	26-Jan-23	03-Feb-23	■ R.I.O.H.Sprinkler - Aud High Elev																																																											
CN - 3190	Paint Exposed Deck - Aud High Elev	5	5	06-Feb-23	10-Feb-23	■ Paint Exposed Deck - Aud High Elev																																																											
CN - 3250	Install Steel Support for Gym Cloud - Aud High Elev	3	3	13-Feb-23	15-Feb-23	■ Install Steel Support for Gym Cloud - Aud High Elev																																																											
CN - 3390	Frame/Board/Tape Cloud - Aud High Elev	7	7	16-Feb-23	24-Feb-23	■ Frame/Board/Tape Cloud - Aud High Elev																																																											
CN - 3500	Install Hanging Auditorium Panels - Aud High Elev	10	10	27-Feb-23	10-Mar-23	■ Install Hanging Auditorium Panels - Aud High Elev																																																											
CN - 3630	Install Lighting - Aud High Elev	10	10	06-Mar-23	17-Mar-23	■ Install Lighting - Aud High Elev																																																											
CN - 3620	Install Sprinkler Heads - Aud High Elev	7	7	06-Mar-23	14-Mar-23	■ Install Sprinkler Heads - Aud High Elev																																																											
CN - 3730	Install Sound System - Aud High Elev	5	5	13-Mar-23	17-Mar-23	■ Install Sound System - Aud High Elev																																																											
CN - 3890	Wall Paneling @ Auditorium	8	8	20-Mar-23	29-Mar-23	■ Wall Paneling @ Auditorium																																																											
<b>First Floor &amp; Stage</b>																																																																	
CN - 2090	Aud - Build Interior Partitions - First Level	10	10	09-Aug-22	22-Aug-22	■ Aud - Build Interior Partitions - First Level																																																											
CN - 2490	In-wall Electrical/FA/Controls - Aud 1st Level	10	10	05-Oct-22	18-Oct-22	■ In-wall Electrical/FA/Controls - Aud 1st Level																																																											
CN - 2680	In-wall Inspection - Aud 1st Level	5	5	19-Oct-22	25-Oct-22	■ In-wall Inspection - Aud 1st Level																																																											
CN - 2740	Install Int Glazing/Borrow Light - Aud 1st Level	4	4	26-Oct-22	31-Oct-22	■ Install Int Glazing/Borrow Light - Aud 1st Level																																																											
CN - 2800	Paint - 1st Level Aud 1st Level	5	5	27-Oct-22	02-Nov-22	■ Paint - 1st Level Aud 1st Level																																																											
CN - 3130	R.I.O.H.Duct - Aud 1st Level	10	10	30-Jan-23	10-Feb-23	■ R.I.O.H.Duct - Aud 1st Level																																																											
CN - 3260	R.I.O.H.Sprinkler - Aud 1st Level	7	7	13-Feb-23	21-Feb-23	■ R.I.O.H.Sprinkler - Aud 1st Level																																																											
CN - 3440	R.I.O.H.Electrical/FA/Controls - Aud 1st Level	10	10	22-Feb-23	07-Mar-23	■ R.I.O.H.Electrical/FA/Controls - Aud 1st Level																																																											
CN - 3680	Paint Exposed Deck - Aud 1st Level	5	5	08-Mar-23	14-Mar-23	■ Paint Exposed Deck - Aud 1st Level																																																											
CN - 3830	Install Hanging Auditorium Panels	10	10	15-Mar-23	28-Mar-23	■ Install Hanging Auditorium Panels																																																											
CN - 3820	Theatre Rigging - Aud 1st Level	15	15	15-Mar-23	04-Apr-23	■ Theatre Rigging - Aud 1st Level																																																											
CN - 3810	Install Lighting - Aud 1st Level	10	10	15-Mar-23	28-Mar-23	■ Install Lighting - Aud 1st Level																																																											
CN - 3800	Install Sprinkler Heads - Aud 1st Level	7	7	15-Mar-23	23-Mar-23	■ Install Sprinkler Heads - Aud 1st Level																																																											
CN - 3900	Control Room Millwork - Aud 1st Level	10	10	20-Mar-23	31-Mar-23	■ Control Room Millwork - Aud 1st Level																																																											
CN - 3970	FA & Wall Mnted Devices - Aud 1st Level	10	10	30-Mar-23	12-Apr-23	■ FA & Wall Mnted Devices - Aud 1st Level																																																											
CN - 3960	Install Seating - Aud 1st Level	7	7	30-Mar-23	07-Apr-23	■ Install Seating - Aud 1st Level																																																											
CN - 4100	Install Wall Paneling @ Proscenium	10	10	03-Apr-23	14-Apr-23	■ Install Wall Paneling @ Proscenium																																																											
CN - 4160	Performing Art Wood Flooring	8	8	05-Apr-23	14-Apr-23	■ Performing Art Wood Flooring																																																											

Finish Date: 22-Jul-24  
Data Date: 26-Apr-21  
Run Date: 19-May-21 10:28  
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■ Remaining Level of Effort ◆ Critical...  
■ Actual Level of Effort ◆ Milesto...  
■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Summary Milestones

**DRISCOLL SCHOOL**  
GMP Baseline Schedule









**Michael Driscoll School**

**Exhibit I**

**Document List**

**Michael Driscoll School  
Guaranteed Maximum Price**



**Gilbane Building Company**  
**Michael Driscoll School**  
**Exhibit I - DRAWING LOG**  
**5/18/2021**

<b>Discipline</b>	<b>Drawing No.</b>	<b>Drawing Title</b>	<b>Drawing Date</b>
Architectural	A000.1	COVER SHEET - VOLUME 1	4/16/2021
Architectural	A000.2	COVER SHEET - VOLUME 2	4/16/2021
Architectural	A000.3	COVER SHEET - VOLUME 3	4/16/2021
Architectural	A001	DRAWING LIST - VOLUME 1	4/16/2021
Architectural	A002	DRAWING LIST - VOLUME 2	4/16/2021
Architectural	A003	DRAWING LIST - VOLUME 3	4/16/2021
Architectural	A010	ABBREVIATIONS AND LEGENDS	4/16/2021
Architectural	A020	SITE PLAN	4/16/2021
Architectural	A050	GRID LAYOUT PLAN - FLOOR 0	4/16/2021
Architectural	A051	GRID LAYOUT PLAN - FLOOR 1	4/16/2021
Architectural	A052	GRID LAYOUT PLAN - FLOOR 2	4/16/2021
Architectural	A053	GRID LAYOUT PLAN - FLOOR 3	4/16/2021
Architectural	A054	GRID LAYOUT PLAN - FLOOR 4	4/16/2021
Architectural	A060	FIREPROOFING DIAGRAMS	5/7/2021
Architectural	A061	FIREPROOFING DIAGRAMS	5/7/2021
Architectural	A100	PLAN - FLOOR 0 - OVERALL	4/16/2021
Architectural	A100A	PLAN - FLOOR 0 - A	4/16/2021
Architectural	A100C	PLAN - FLOOR 0 - C	4/16/2021
Architectural	A101	PLAN - FLOOR 1- OVERALL	4/16/2021
Architectural	A101A	PLAN - FLOOR 1 - A	4/16/2021
Architectural	A101B	PLAN - FLOOR 1 - B	4/16/2021
Architectural	A101C	PLAN - FLOOR 1 - C	4/16/2021
Architectural	A102	PLAN - FLOOR 2 - OVERALL	4/16/2021
Architectural	A102A	PLAN - FLOOR 2 - A	4/16/2021
Architectural	A102B	PLAN - FLOOR 2 - B	4/16/2021
Architectural	A102C	PLAN - FLOOR 2 - C	4/16/2021
Architectural	A103	PLAN - FLOOR 3- OVERALL	4/16/2021
Architectural	A103A	PLAN - FLOOR 3 - A	4/16/2021
Architectural	A103B	PLAN - FLOOR 3 - B	4/16/2021
Architectural	A103C	PLAN - FLOOR 3 - C	4/16/2021
Architectural	A104	PLAN - FLOOR 4- O VERALL	4/16/2021
Architectural	A104A	PLAN - FLOOR 4 - A	4/16/2021
Architectural	A104B	PLAN - FLOOR 4 - B	4/16/2021
Architectural	A104C	PLAN - FLOOR 4 - C	4/16/2021
Architectural	A105	PLAN - ROOF -OVERALL	4/16/2021
Architectural	A110A	EOS PLAN - FLOOR 0 - A	4/16/2021
Architectural	A110C	EOS PLAN - FLOOR 0 - C	4/16/2021
Architectural	A111A	EOS PLAN - FLOOR 1 - A	5/5/2021
Architectural	A111B	EOS PLAN - FLOOR 1 - B	5/5/2021
Architectural	A111C	EOS PLAN - FLOOR 1 - C	5/5/2021
Architectural	A112A	EOS PLAN - FLOOR 2 - A	5/5/2021
Architectural	A112B	EOS PLAN - FLOOR 2 - B	5/5/2021
Architectural	A112C	EOS PLAN - FLOOR 2 - C	5/5/2021
Architectural	A113A	EOS PLAN - FLOOR 3 - A	5/5/2021
Architectural	A113B	EOS PLAN - FLOOR 3 - B	5/5/2021
Architectural	A113C	EOS PLAN - FLOOR 3 - C	5/5/2021
Architectural	A114A	EOS PLAN - FLOOR 4 - A	5/5/2021
Architectural	A114B	EOS PLAN - FLOOR 4 - B	5/5/2021
Architectural	A114C	EOS PLAN - FLOOR 4 - C	5/5/2021

Architectural	A115A	EOS PLAN - ROOF - A	4/16/2021
Architectural	A115B	EOS PLAN - ROOF - B	4/16/2021
Architectural	A115C	EOS PLAN - ROOF - C	4/16/2021
Architectural	A140A	FINISH PLAN - FLOOR 0 - AND FINISH SCHEDULE	4/16/2021
Architectural	A140C	FINISH PLAN - FLOOR 0 - C	4/16/2021
Architectural	A141A	FINISH PLAN - FLOOR 1 - A	4/16/2021
Architectural	A141B	FINISH PLAN - FLOOR 1 - B	4/16/2021
Architectural	A141C	FINISH PLAN - FLOOR 1 - C	4/16/2021
Architectural	A142A	FINISH PLAN - FLOOR 2 - A	4/16/2021
Architectural	A142B	FINISH PLAN - FLOOR 2 - B	4/16/2021
Architectural	A142C	FINISH PLAN - FLOOR 2 - C	4/16/2021
Architectural	A143A	FINISH PLAN - FLOOR 3 - A	4/16/2021
Architectural	A143B	FINISH PLAN - FLOOR 3 - B	4/16/2021
Architectural	A143C	FINISH PLAN - FLOOR 3 - C	4/16/2021
Architectural	A144A	FINISH PLAN - FLOOR 4 - A	4/16/2021
Architectural	A144B	FINISH PLAN - FLOOR 4 - B	4/16/2021
Architectural	A144C	FINISH PLAN - FLOOR 4 - C	4/16/2021
Architectural	A145	FINISH PLAN - FLOOR 1 ALTERNATE	4/16/2021
Architectural	A160A	FURNITURE PLAN - FLOOR 0 - A	4/16/2021
Architectural	A160C	FURNITURE PLAN - FLOOR 0 - C	4/16/2021
Architectural	A161A	FURNITURE PLAN - FLOOR 1 - A	4/16/2021
Architectural	A161B	FURNITURE PLAN - FLOOR 1 - B	4/16/2021
Architectural	A161C	FURNITURE PLAN - FLOOR 1 - C	4/16/2021
Architectural	A162A	FURNITURE PLAN - FLOOR 2 - A	4/16/2021
Architectural	A162B	FURNITURE PLAN - FLOOR 2 - B	4/16/2021
Architectural	A162C	FURNITURE PLAN - FLOOR 2 - C	4/16/2021
Architectural	A163A	FURNITURE PLAN - FLOOR 3 - A	4/16/2021
Architectural	A163B	FURNITURE PLAN - FLOOR 3 - B	4/16/2021
Architectural	A163C	FURNITURE PLAN - FLOOR 3 - C	4/16/2021
Architectural	A164A	FURNITURE PLAN - FLOOR 4 - A	4/16/2021
Architectural	A164B	FURNITURE PLAN - FLOOR 4 - B	4/16/2021
Architectural	A164C	FURNITURE PLAN - FLOOR 4 - C	4/16/2021
Architectural	A180	REFLECTED CEILING PLAN - FLOOR 0-OVERALL	4/16/2021
Architectural	A180A	REFLECTED CEILING PLAN - FLOOR 0- A	4/16/2021
Architectural	A180C	REFLECTED CEILING PLAN - FLOOR 0 - C	4/16/2021
Architectural	A181	REFLECTED CEILING PLAN - FLOOR 1-OVERALL	4/16/2021
Architectural	A181A	REFLECTED CEILING PLAN - FLOOR 1-A	4/16/2021
Architectural	A181B	REFLECTED CEILING PLAN - FLOOR 1-B	4/16/2021
Architectural	A181C	REFLECTED CEILING PLAN - FLOOR 1-C	4/16/2021
Architectural	A182	REFLECTED CEILING PLAN - FLOOR 2-OVERALL	4/16/2021
Architectural	A182A	REFLECTED CEILING PLAN - FLOOR 2-A	4/16/2021
Architectural	A182B	REFLECTED CEILING PLAN - FLOOR 2-B	4/16/2021
Architectural	A182C	REFLECTED CEILING PLAN - FLOOR 2-C	4/16/2021
Architectural	A183	REFLECTED CEILING PLAN - FLOOR 3-OVERALL	4/16/2021
Architectural	A183A	REFLECTED CEILING PLAN - FLOOR 3-A	4/16/2021
Architectural	A183B	REFLECTED CEILING PLAN - FLOOR 3-B	4/16/2021
Architectural	A183C	REFLECTED CEILING PLAN - FLOOR 3-C	4/16/2021
Architectural	A184	REFLECTED CEILING PLAN - FLOOR 4-OVERALL	4/16/2021
Architectural	A184A	REFLECTED CEILING PLAN - FLOOR 4-A	4/16/2021
Architectural	A184B	REFLECTED CEILING PLAN - FLOOR 4-B	4/16/2021
Architectural	A184C	REFLECTED CEILING PLAN - FLOOR 4-C	4/16/2021
Architectural	A200	ENLARGED EXT. PLANS - A SOUTH	4/16/2021
Architectural	A201	ENLARGED EXT. PLANS - B SOUTH ENTRY	5/5/2021
Architectural	A202	ENLARGED EXT. PLANS - B SOUTH	4/16/2021

Architectural	A203	ENLARGED EXT. PLANS - B NORTH	4/16/2021
Architectural	A204	ENLARGED EXT. PLANS - C WEST	4/16/2021
Architectural	A205	ENLARGED EXT. PLANS - C EAST	4/16/2021
Architectural	A206	ENLARGED EXT. PLANS - A NORTH	4/16/2021
Architectural	A207	ENLARGED EXT. PLANS - CAFETERIA/TERRACE	4/16/2021
Architectural	A208	ENLARGED EXT. PLANS - PROJECT AREA	4/16/2021
Architectural	A209	ENLARGED EXT. PLANS - PLAY AREA	4/16/2021
Architectural	A210	EXTERIOR 3D VIEWS	4/16/2021
Architectural	A212	EXTERIOR ELEVATIONS	4/16/2021
Architectural	A221	UNFOLDED ELEVATIONS - SOUTH	4/16/2021
Architectural	A222	UNFOLDED ELEVATIONS - SOUTH	4/16/2021
Architectural	A223	UNFOLDED ELEVATIONS - WEST	4/16/2021
Architectural	A224	UNFOLDED ELEVATIONS - WEST	4/16/2021
Architectural	A225	UNFOLDED ELEVATIONS - EAST	4/16/2021
Architectural	A226	UNFOLDED ELEVATIONS - GYM & EAST STAIR	4/16/2021
Architectural	A227	UNFOLDED ELEVATIONS - EAST & WEST	4/16/2021
Architectural	A228	CURTAIN WALL TYPES - SOUTH	4/16/2021
Architectural	A229	CURTAIN WALL TYPES - SOUTH, WEST & EAST	4/16/2021
Architectural	A230	CURTAIN WALL TYPES - EAST	4/16/2021
Architectural	A231	CURTAIN WALL TYPES - WEST	4/16/2021
Architectural	A232	CURTAIN WALL TYPES - WEST	4/16/2021
Architectural	A233	CURTAIN WALL AND LOUVER TYPES	4/16/2021
Architectural	A300	BUILDING SECTIONS	4/16/2021
Architectural	A301	BUILDING SECTIONS	4/16/2021
Architectural	A302	BUILDING SECTIONS	4/16/2021
Architectural	A310	WALL SECTIONS - A SOUTH	4/16/2021
Architectural	A311	WALL SECTIONS - B SOUTH	4/16/2021
Architectural	A312	WALL SECTIONS - B NORTH	4/16/2021
Architectural	A313	WALL SECTIONS - C WEST & NORTH	4/16/2021
Architectural	A314	WALL SECTIONS - GYM & PLAY AREA	4/16/2021
Architectural	A315	WALL SECTIONS - LOADING/GYM/PLAY AREA	4/16/2021
Architectural	A316	WALL SECTIONS - A EAST & LOADING	4/16/2021
Architectural	A317	WALL SECTIONS - CLASSROOM WINDOW BAY	4/16/2021
Architectural	A318	WALL SECTIONS - B NORTH & KINDERGARTEN	4/16/2021
Architectural	A319	WALL SECTIONS - PHENOLIC PANELS	4/16/2021
Architectural	A400	INTERIOR ELEVATIONS - CORRIDORS	4/16/2021
Architectural	A401	INTERIOR ELEVATIONS - CORRIDORS	4/16/2021
Architectural	A402	INTERIOR ELEVATIONS - CORRIDORS	4/16/2021
Architectural	A403	INTERIOR ELEVATIONS - CORRIDOR	4/16/2021
Architectural	A404	INTERIOR ELEVATIONS - CORRIDOR	4/16/2021
Architectural	A405	INTERIOR ELEVATIONS - CORRIDORS	4/16/2021
Architectural	A406	INTERIOR ELEVATION - CORRIDORS	4/16/2021
Architectural	A407	INTERIOR ELEVATIONS - CORRIDORS	4/16/2021
Architectural	A410	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - TYP CLASSROOM	4/16/2021
Architectural	A411	ENLARGED PLAN- SPECIALTY CLASSROOM	4/16/2021
Architectural	A412	ENLARGED PLAN, INTERIOR ELEVATIONS - TYPICAL PRE K	4/16/2021
Architectural	A413	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - TYP SCIENCE	4/16/2021
Architectural	A414	ENLARGED PLAN, RCP, INTERIOR ELEVATION - HEALTH ROOM	4/16/2021
Architectural	A415	ENLARGED PLAN, RCP, INTERIOR ELEVATIONS - ART ROOM	4/16/2021
Architectural	A416	ENLARGED PLANS, RCP - MAKERSPACE/FABLAB	4/16/2021
Architectural	A417	INTERIOR ELEVATIONS - MAKERSPACE/FABLAB	4/16/2021
Architectural	A418	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - MUSIC	4/16/2021
Architectural	A419	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - BAND/CHORUS	4/16/2021
Architectural	A420	ENLARGED PLANS, INTERIOR ELEVATIONS - MULTIPURPOSE	4/16/2021

Architectural	A421	ENLARGED PLANS, INTERIOR ELEVATIONS - MULTIPURPOSE	4/16/2021
Architectural	A422	ENLARGED RCP-MULTIPURPOSE ROOM	4/16/2021
Architectural	A423	ENLARGED PLAN - MEDIA	4/16/2021
Architectural	A424	ENLARGED RCP - MEDIA	4/16/2021
Architectural	A425	INTERIOR ELEVATION - MEDIA	4/16/2021
Architectural	A426	ENLARGED PLAN, RCP, INTERIOR ELEVATIONS - ENTRY	4/16/2021
Architectural	A427	ENLARGED PLANS, INTERIOR ELEVATIONS - ADMIN	4/16/2021
Architectural	A428	ENLARGED RCP, INTERIOR ELEVATIONS - ADMIN	4/16/2021
Architectural	A429	INTERIOR ELEVATION - ADMIN	4/16/2021
Architectural	A431	ENLARGED PLAN - CAFETERIA	4/16/2021
Architectural	A432	ENLARGED RCP- CAFETERIA	4/16/2021
Architectural	A433	ENLARGED PLAN - GYMNASIUM	4/16/2021
Architectural	A434	ENLARGED RCP - GYMNASIUM	4/16/2021
Architectural	A435	ENLARGED ELEVATION - GYMNASIUM	4/16/2021
Architectural	A436	ENLARGED ELEVATION - GYMNASIUM	4/16/2021
Architectural	A437	ENLARGED PLAN AND RCP - SMALL GYM	4/16/2021
Architectural	A438	ENLARGED ELEVATION - SMALL GYM	4/16/2021
Architectural	A439	ENLARGED PLAN, RCP, INT. EL. - SMALL GROUP ROOMS	4/16/2021
Architectural	A440	ENLARGED PLAN, RCP, INT. EL. - STAFF LUNCH & TEACHER WORKRM	4/16/2021
Architectural	A442	ENLARGED PLAN, RCP, INT. EL. - SP. COLLABORATIVE WORKSPACE	4/16/2021
Architectural	A443	ENLARGED PLANS, RCP, INT. EL. - SM GROUP, CONF., DEESCALATION	4/16/2021
Architectural	A444	ENLARGED PLAN, RCP, INT. EL. - ELE CLASSROOM	4/16/2021
Architectural	A446	ENLARGED PLAN, RCP - SPECIAL EDUCATION AND GUIDANCE	4/16/2021
Architectural	A447	INTERIOR ELEVATIONS - SPECIAL EDUCATION AND GUIDANCE	4/16/2021
Architectural	A448	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - LEARNING CENTER	4/16/2021
Architectural	A449	ENLARGED PLAN, RCP, INTERIOR ELEVATIONS - SPEECH	4/16/2021
Architectural	A450	ENLARGED PLAN, RCP, INTERIOR ELEVATIONS - ENRICHMENT SUITE	4/16/2021
Architectural	A451	INTERIOR ELEVATIONS - ENRICHMENT SUITE	4/16/2021
Architectural	A460	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - TOILETS	4/16/2021
Architectural	A461	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - TOILETS	4/16/2021
Architectural	A462	ENLARGED PLAN, RCP, INTERIOR ELEVATIONS - TOILETS FL1	4/16/2021
Architectural	A463	ENLARGED PLAN, RCP, INT. EL. FLO TOILETS AND STAFF SHOWER	4/16/2021
Architectural	A464	ENLARGED PLANS, RCPS, INTERIOR ELEVATIONS - LOCKER ROOMS	4/16/2021
Architectural	A465	ENLARGED PLAN, RCP, INT. EL. - HEALTH OFFICE AND LOCKER	4/16/2021
Architectural	A470	ENLARGED PLANS, RCP, INTERIOR ELEVATION - PROJECT AREAS	4/16/2021
Architectural	A471	ENLARGED SECTIONS - PROJECT AREA	4/16/2021
Architectural	A472	ENLARGED PLANS, RCP, INTERIOR ELEVATION - PROJECT AREAS	4/16/2021
Architectural	A473	ENLARGED PLANS, RCP, INTERIOR ELEVATION - PROJECT AREAS	4/16/2021
Architectural	A474	ENLARGED PLANS, RCP, INTERIOR ELEVATIONS - VESTIBULES	4/16/2021
Architectural	A475	ENLARGED PLAN - SERVICE AREA	4/16/2021
Architectural	A480	ENLARGED PLANS - MONUMENTAL STAIRS	4/16/2021
Architectural	A481	ENLARGED SECTIONS - MONUMENTAL STAIRS	4/16/2021
Architectural	A482	ENLARGED SECTIONS - MONUMENTAL STAIRS	4/16/2021
Architectural	A483	ENLARGED PLANS AND SECTIONS - MONUMENTAL STAIRS	4/16/2021
Architectural	A484	ENLARGED ELEVATIONS - MONUMENTAL STAIRS	4/16/2021
Architectural	A490	ENLARGED PLANS, SECTIONS - STAIRS	4/16/2021
Architectural	A491	ENLARGED PLANS, SECTIONS - STAIRS	4/16/2021
Architectural	A492	ENLARGED PLANS, SECTIONS - STAIRS	4/16/2021
Architectural	A493	ENLARGED PLANS, SECTIONS - STAIRS	4/16/2021
Architectural	A495	ENLARGED PLANS, SECTIONS - ELEVATOR	4/16/2021
Architectural	A501	EXTERIOR - WALL TYPES	4/16/2021
Architectural	A502	EXTERIOR - ROOF TYPES & DETAILS	4/16/2021
Architectural	A510	EXTERIOR PLAN DETAILS AT BAY AND STRIP CURTAINWALL	4/16/2021
Architectural	A511	EXTERIOR PLAN DETAILS AT CURTAINWALL TRANSITIONS	4/16/2021

Architectural	A512	EXTERIOR PLAN DETAILS AT PROJECT AREA CURTAIN WALL	4/16/2021
Architectural	A513	EXTERIOR PLAN DETAILS AT GYM/ PLAY AREA	4/16/2021
Architectural	A514	EXTERIOR PLAN DETAILS AT CURTAINALL / CONCRETE WALLS	4/16/2021
Architectural	A515	EXTERIOR PLAN DETAILS - SOUTH	4/16/2021
Architectural	A520	EXTERIOR SECTION DETAILS AT BAY AND STRIP CURTAINWALL	4/16/2021
Architectural	A521	EXTERIOR SECTION DETAILS AT AUDITORIUM / ADMINISTRATION	4/16/2021
Architectural	A522	EXTERIOR SECTION DETAILS - RELIEVING ANGLES	4/16/2021
Architectural	A523	EXTERIOR DETAILS AT STAIRS/CONCRETE SHEAR WALLS	4/16/2021
Architectural	A524	EXTERIOR SECTION DETAILS - PROJECT AREAS	4/16/2021
Architectural	A525	EXTERIOR SECTION DETAILS AT PRE -K/K GUARDRAIL	4/16/2021
Architectural	A526	EXTERIOR SECTION DETAILS AT TERRACE PRE-K/K	4/16/2021
Architectural	A527	EXTERIOR SECTION DETAILS	4/16/2021
Architectural	A528	EXTERIOR DETAILS	4/16/2021
Architectural	A529	EXTERIOR GUARDRAIL SECTIONS & DETAILS	4/16/2021
Architectural	A530	VESTIBULE SECTION DETAILS	4/16/2021
Architectural	A550	SKYLIGHT DETAILS	4/16/2021
Architectural	A560	TYPICAL ROOF DETAILS	4/16/2021
Architectural	A573	MEDIA TRELIS DETAILS	4/16/2021
Architectural	A574	MAIN ENTRY & N. STAIR CANOPIES	4/16/2021
Architectural	A575	ENTRANCE - WASHINGTON STREET	4/16/2021
Architectural	A590	WESTBOURNE TERRACE RAMP & STAIR	4/16/2021
Architectural	A591	WESTBOURNE TERRACE- STAIR & RAMP DETAILS	4/16/2021
Architectural	A592	SERVICE AREA - RAMP & STAIR	4/16/2021
Architectural	A594	PERGOLA AND FENCE DETAILS	4/16/2021
Architectural	A597	EXTERIOR MOCK UP	4/16/2021
Architectural	A600	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A601	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A602	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A603	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A604	INTERIOR WALL SECTIONS & LOCKER DETAILS	4/16/2021
Architectural	A605	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A606	INTERIOR DETAILS AND ALTERNATE- BUM PERRAIL	4/16/2021
Architectural	A607	INTERIOR WALL SECTIONS	4/16/2021
Architectural	A608	INTERIOR WALL SECTIONS MULTIPURPOSE ROOM	4/16/2021
Architectural	A609	INTERIOR DETAILS - MULTIPURPOSE ROOM STAGE	4/16/2021
Architectural	A610	INTERIOR DETAILS - BENCHES AND DRINKING FOUNTAIN	4/16/2021
Architectural	A611	INTERIOR DETAILS - RECEPTION CASEWORK	4/16/2021
Architectural	A612	INTERIOR DETAILS - RECEPTION CASEWORK	4/16/2021
Architectural	A613	INTERIOR DETAILS - CAFETERIA HANDWASH AND TRASH STATION	4/16/2021
Architectural	A614	INTERIOR DETAILS - PROJECT AREA	4/16/2021
Architectural	A615	INTERIOR WALL SECTIONS - PROJECT AREAS	4/16/2021
Architectural	A620	INTERIOR DETAILS - CASEWORK	4/16/2021
Architectural	A621	INTERIOR DETAILS - CASEWORK	4/16/2021
Architectural	A625	INTERIOR DETAILS	4/16/2021
Architectural	A650	INTERIOR DETAILS - STAIRS	4/16/2021
Architectural	A651	INTERIOR DETAILS - STAIRS	4/16/2021
Architectural	A660	INTERIOR DETAILS - GUARDRAIL	4/16/2021
Architectural	A690	CEILING DETAILS	4/16/2021
Architectural	A691	CEILING DETAILS	4/16/2021
Architectural	A700	PARTITION TYPES	4/16/2021
Architectural	A710	DOOR SCHEDULE	4/16/2021
Architectural	A711	DOOR SCHEDULE AND LEGEND	4/16/2021
Architectural	A712	SILL, TRANSITION & BASE DETAILS	4/16/2021
Architectural	A713	DOOR DETAILS	4/16/2021

Architectural	A715	SIGNAGE DETAILS	4/16/2021
Architectural	VT01	ELEVATOR DETAILS	4/16/2021
Audio Visual	AV000	AV SYMBOLS AND LEGENDS I	4/16/2021
Audio Visual	AV100A	AV FLOOR PLAN - FLOOR 0-A	4/16/2021
Audio Visual	AV100C	AV FLOOR PLAN - FLOOR 0-C	4/16/2021
Audio Visual	AV101A	AV FLOOR PLAN - FLOOR 1-A	4/16/2021
Audio Visual	AV101B	AV FLOOR PLAN - FLOOR 1-B	4/16/2021
Audio Visual	AV101C	AV FLOOR PLAN - FLOOR 1-C	4/16/2021
Audio Visual	AV102A	AV FLOOR PLAN - FLOOR 2-A	4/16/2021
Audio Visual	AV102B	AV FLOOR PLAN - FLOOR 2-B	4/16/2021
Audio Visual	AV102C	AV FLOOR PLAN - FOOR 2-C	4/16/2021
Audio Visual	AV103A	AV FLOOR PLAN - FLOOR 3-A	4/16/2021
Audio Visual	AV103B	AV FLOOR PLAN - FLOOR 3-B	4/16/2021
Audio Visual	AV103C	AV FLOOR PLAN - FLOOR 3-C	4/16/2021
Audio Visual	AV104A	AV FLOOR PLAN - FLOOR 4-A	4/16/2021
Audio Visual	AV104B	AV FLOOR PLAN - FLOOR 4-B	4/16/2021
Audio Visual	AV104C	AV FLOOR PLAN - FLOOR 4-C	4/16/2021
Audio Visual	AV200A	AV RCP - FLOOR 0-A	4/16/2021
Audio Visual	AV200C	AV RCP - FLOOR 0-C	4/16/2021
Audio Visual	AV201A	AV RCP - FLOOR 1-A	4/16/2021
Audio Visual	AV201B	AV RCP - FLOOR 1-B	4/16/2021
Audio Visual	AV201C	AV RCP - FLOOR 1-C	4/16/2021
Audio Visual	AV202A	AV RCP - FLOOR 2-A	4/16/2021
Audio Visual	AV202B	PROJECT NO.	4/16/2021
Audio Visual	AV202C	AV RCP - FLOOR 2-C	4/16/2021
Audio Visual	AV203A	AV RCP - FLOOR 3-A	4/16/2021
Audio Visual	AV203B	AV RCP - FLOOR 3-B	4/16/2021
Audio Visual	AV203C	AV RCP - FLOOR 3-C	4/16/2021
Audio Visual	AV204A	AV RCP - FLOOR 4-A	4/16/2021
Audio Visual	AV204B	AV RCP - FLOOR 4-B	4/16/2021
Audio Visual	AV204C	AV RCP - FLOOR 4-C	4/16/2021
Audio Visual	AV300	AV MULTIPURPOSE ELEVATION	4/16/2021
Audio Visual	AV301	AV GYMNASIUM ELEVATION	4/16/2021
Audio Visual	AV302	AV CLASSROOM ELEVATION 1	4/16/2021
Audio Visual	AV303	AV CLASSROOM ELEVATION 2	4/16/2021
Audio Visual	AV400	AV RISER DIAGRAMS	4/16/2021
Civil	C-1.0	SITE DEMOLITION & EROSION CONTROL	4/16/2021
Civil	C-2.0	LAYOUT & MATERIALS PLAN	4/16/2021
Civil	C-3.0	OVERALL GRADING & DRAINAGE PLAN	4/16/2021
Civil	C-3.1	GRADING & DRAINAGE PLAN	4/16/2021
Civil	C-3.2	GRADING & DRAINAGE PLAN	4/16/2021
Civil	C-4.0	UTILITY PLAN	4/16/2021
Civil	C-5.0	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.1	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.2	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.3	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.4	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.5	CONSTRUCTION DETAILS	4/16/2021
Civil	C-5.6	CONSTRUCTION DETAILS	4/16/2021
Civil	PH-1	INITIAL CONSTRUCTION PHASING PLAN	4/16/2021
Civil	PH-2	CONSTRUCTION PHASING PLAN BASE	4/16/2021
Electrical	E001	ELECTRICAL SYMBOL LIST	4/16/2021
Electrical	E002	LIGHTING FIXTURES SCHEDULE & NOTES	4/16/2021
Electrical	E003	ELECTRICAL SITE PLAN	4/16/2021

Electrical	E004	ELECTRICAL SITE PLAN DETAILS	4/16/2021
Electrical	E100A	GYM FLOOR PLAN - PART A - LIGHTING	4/16/2021
Electrical	E100C	GYM FLOOR PLAN - PART C - LIGHTING	4/16/2021
Electrical	E101A	FIRST FLOOR PLAN - PART A - LIGHTING	4/16/2021
Electrical	E101B	FIRST FLOOR PLAN - PART B - LIGHTING	4/16/2021
Electrical	E101C	FIRST FLOOR PLAN - PART C - LIGHTING	4/16/2021
Electrical	E102A	SECOND FLOOR PLAN - PART A - LIGHTING	4/16/2021
Electrical	E102B	SECOND FLOOR PLAN - PART B - LIGHTING	4/16/2021
Electrical	E102C	SECOND FLOOR PLAN - PART C - LIGHTING	4/16/2021
Electrical	E103A	THIRD FLOOR PLAN - PART A - LIGHTING	4/16/2021
Electrical	E103B	THIRD FLOOR PLAN - PART B - LIGHTING	4/16/2021
Electrical	E103C	THIRD FLOOR PLAN - PART C - LIGHTING	4/16/2021
Electrical	E104A	FOURTH FLOOR PLAN - PART A - LIGHTING	4/16/2021
Electrical	E104B	FOURTH FLOOR PLAN - PART B - LIGHTING	4/16/2021
Electrical	E104C	FOURTH FLOOR PLAN - PART C - LIGHTING	4/16/2021
Electrical	E200A	GYM FLOOR PLAN - PART A - POWER	4/16/2021
Electrical	E200C	GYM FLOOR PLAN - PART C - POWER	4/16/2021
Electrical	E201A	FIRST FLOOR PLAN - PART A - POWER	4/16/2021
Electrical	E201B	FIRST FLOOR PLAN - PART B - POWER	4/16/2021
Electrical	E201C	FIRST FLOOR PLAN - PART C - POWER	4/16/2021
Electrical	E202A	SECOND FLOOR PLAN - PART A - POWER	4/16/2021
Electrical	E202B	SECOND FLOOR PLAN - PART B - POWER	4/16/2021
Electrical	E202C	SECOND FLOOR PLAN - PART C - POWER	4/16/2021
Electrical	E203A	THIRD FLOOR PLAN - PART A - POWER	4/16/2021
Electrical	E203B	THIRD FLOOR PLAN - PART B - POWER	4/16/2021
Electrical	E203C	THIRD FLOOR PLAN - PART C - POWER	4/16/2021
Electrical	E204A	FOURTH FLOOR PLAN - PART A - POWER	4/16/2021
Electrical	E204B	FOURTH FLOOR PLAN - PART B - POWER	4/16/2021
Electrical	E204C	FOURTH FLOOR PLAN - PART C - POWER	4/16/2021
Electrical	E205	ROOF PLAN - POWER & LIGHTNING PROTECTION	4/16/2021
Electrical	E206	LIGHTNING PROTECTION DETAILS	4/16/2021
Electrical	E300	ELECTRICAL & IDF ROOMS PART PLANS - POWER	4/16/2021
Electrical	E301	ONE-LINE POWER RISER	4/16/2021
Electrical	E302	ELECTRICAL PANEL SCHEDULES	4/16/2021
Electrical	E303	ELECTRICAL DETAILS	4/16/2021
Electrical	E304	ELECTRICAL DETAILS	5/5/2021
Electrical	E305	TELECOMMUNICATIONS CONDUIT & GROUNDING RISER DIAGRAM	4/16/2021
Electrical	E306	DISTRIBUTED ANTENNA SYSTEM (DAS/BDA)	4/16/2021
Electrical	E307	HVAC EQUIPMENT CONNECTIONS	4/16/2021
Electrical	E308	PLUMBING EQUIPMENT CONNECTIONS SCHEDULES	4/16/2021
Electrical	E309	KITCHEN PLAN, SCHEDULE, NOTES AND DETAILS	4/16/2021
Electrical	E400	FIRE ALARM RISER & DETAILS	4/16/2021
Electrical	E400A	GYM FLOOR PLAN - PART A - FIRE	4/16/2021
Electrical	E400C	GYM FLOOR PLAN - PART C-FIRE ALARM	4/16/2021
Electrical	E401A	FIRST FLOOR PLAN - PART A-FIRE ALARM	4/16/2021
Electrical	E401B	FIRST FLOOR PLAN - PART B - FIRE	4/16/2021
Electrical	E401C	FIRST FLOOR PLAN - PART C - FIRE ALARM	4/16/2021
Electrical	E402A	SECOND FLOOR PLAN - PART A - FIRE ALARM	4/16/2021
Electrical	E402B	SECOND FLOOR PLAN - PART B - FIRE ALARM	4/16/2021
Electrical	E402C	SECOND FLOOR PLAN - PART C - FIRE ALARM	4/16/2021
Electrical	E403A	THIRD FLOOR PLAN - PART A - FIRE ALARM	4/16/2021
Electrical	E403B	THIRD FLOOR PLAN - PART B - FIRE ALARM	4/16/2021
Electrical	E403C	THIRD FLOOR PLAN - PART C - FIRE ALARM	4/16/2021
Electrical	E404A	FOURTH FLOOR PLAN - PART A - FIRE ALARM	4/16/2021

Electrical	E404B	FOURTH FLOOR PLAN - PART B - FIRE ALARM	4/16/2021
Electrical	E404C	FOURTH FLOOR PLAN - PART C - FIRE ALARM	4/16/2021
Electrical	E500	SECURITY SYMBOL LIST	4/16/2021
Electrical	E500A	GYM FLOOR PLAN - PART A - SECURITY	4/16/2021
Electrical	E500C	GYM FLOOR PLAN - PART C - SECURITY	4/16/2021
Electrical	E501A	FIRST FLOOR PLAN - PART A - SECURITY	4/16/2021
Electrical	E501B	FIRST FLOOR PLAN - PART B - SECURITY	4/16/2021
Electrical	E501C	FIRST FLOOR PLAN - PART C - SECURITY	4/16/2021
Electrical	E502A	SECOND FLOOR PLAN - PART A - SECURITY	4/16/2021
Electrical	E502B	SECOND FLOOR PLAN - PART B - SECURITY	4/16/2021
Electrical	E502C	SECOND FLOOR PLAN - PART C - SECURITY	4/16/2021
Electrical	E503A	THIRD FLOOR PLAN - PART A - SECURITY	4/16/2021
Electrical	E503B	THIRD FLOOR PLAN - PART B - SECURITY	4/16/2021
Electrical	E503C	THIRD FLOOR PLAN - PART C - SECURITY	4/16/2021
Electrical	E504A	FOURTH FLOOR PLAN - PART A - SECURITY	4/16/2021
Electrical	E504B	FOURTH FLOOR PLAN - PART B - SECURITY	4/16/2021
Electrical	E504C	FOURTH FLOOR PLAN - PART C - SECURITY	4/16/2021
Electrical	E600	MULTIPURPOSE ROOM PLANS - FLOOR 1	4/16/2021
Electrical	E601	MULTIPURPOSE ROOM PLANS - FLOOR 2	4/16/2021
Electrical	E602	THEATER LIGHTING SCHEDULES	4/16/2021
Electrical	E603	THEATER LIGHTING SCHEDULES	4/16/2021
Electrical	E604	THEATER LIGHTING RISER DIAGRAM	4/16/2021
Electrical	E605	THEATER LIGHTING DETAILS	4/16/2021
Fire Protection	FP001	LEGSM, NOTES, SCHEDULES,/MMD DETAILS	4/16/2021
Fire Protection	FP002	SITE PLAN - FIRE PROTECTION	4/16/2021
Fire Protection	FP003	SPRINKLER ZONES - FIRE PROTECTION	4/16/2021
Fire Protection	FP100A	OfM FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP100C	GYM FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP101A	FIRST FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP101B	FIRST FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP101C	FIRST FLOOR RCP- FIRE PROTECTION	4/16/2021
Fire Protection	FP102A	SECOND FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP102B	SECOND FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP102C	SECOND FLOOR RCP-HRE	4/16/2021
Fire Protection	FP103A	THIRD FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP103B	THIRD FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP103C	THIRD FLOOR RCP - FIRE PROTECTION	4/16/2021
Fire Protection	FP104A	FOURTH FLOOR RCP-HRE	4/16/2021
Fire Protection	FP104B	FOURTH FLOOR RCP-HRE	4/16/2021
Fire Protection	FP104C	FOURTH FLOOR RCP-HRE PROTECTION	4/16/2021
Fire Protection	FP105	ROOF PLAN-FIRE PROTECTION	4/16/2021
Fire Protection	FS201	FOODSERVICE EQUIPMENT ELEVATIONS	4/16/2021
Fire Protection	FS202	FOODSERVICE EQUIPMENT DETAILS	4/16/2021
Food Service	FS100	FOODSERVICE EQUIPMENT SCHEDULE	4/16/2021
Food Service	FS101A	FOODSERVICE EQUIPMENT PLAN	4/16/2021
Food Service	FS111A	FOODSERVICE EQUIPMENT ROUGH-IN PLAN	4/16/2021
Food Service	FS121A	FOODSERVICE EQUIPMENT VENTILATION ROUGH-IN PLAN	4/16/2021
Food Service	FS131A	FOODSERVICE EQUIPMENT SPECIAL CONDITIONS PLAN	4/16/2021
Irrigation	IR-1	IRRIGATION PLAN	4/16/2021
Irrigation	IR-2	IRRIGATION PLAN	4/16/2021
Irrigation	IR-3	IRRIGATION DETAILS	4/16/2021
Irrigation	IR-4	IRRIGATION DETAILS	4/16/2021
Landscape	L000	TEMPORARY PLAY AREAS	4/16/2021
Landscape	L100	MATERIALS PLAN	4/16/2021



Landscape	L101	MATERIALS PLAN	4/16/2021
Landscape	L102	PLAYGROUND MATERIALS PLAN	4/16/2021
Landscape	L200	LAYOUT PLAN	4/16/2021
Landscape	L201	LAYOUT PLAN	4/16/2021
Landscape	L202	PLAYGROUND LAYOUT PLAN	4/16/2021
Landscape	L300	PAVING PLAN	4/16/2021
Landscape	L400	GRADING PLAN	4/16/2021
Landscape	L401	GRADING PLAN	4/16/2021
Landscape	L500	PLANTING PLAN	4/16/2021
Landscape	L501	PLANTING PLAN	4/16/2021
Landscape	L600	DETAILS	4/16/2021
Landscape	L601	DETAILS	4/16/2021
Landscape	L602	DETAILS	5/5/2021
Landscape	L603	DETAILS	4/16/2021
Landscape	L604	DETAILS	4/16/2021
Landscape	L605	DETAILS	4/16/2021
Landscape	L606	DETAILS	4/16/2021
Landscape	L607	DETAILS	4/16/2021
Life Safety	LS100	LIFE SAFETY PLAN - FLOOR 0-OVERALL	4/16/2021
Life Safety	LS100A	LIFE SAFETY PLAN - FLOOR 0-OVERALL SPECIAL EVENT	4/16/2021
Life Safety	LS101	LIFE SAFETY PLAN - FLOOR 1 - OVERALL WITH SITE	4/16/2021
Life Safety	LS102	LIFE SAFETY PLAN - FLOOR 2 - OVERALL WITH SITE	4/16/2021
Life Safety	LS103	LIFE SAFETY PLAN - FLOOR 3 - OVERALL	4/16/2021
Life Safety	LS104	LIFE SAFETY PLAN- FLOOR 4- OVERALL	4/16/2021
Mechanical	M001	HVAC - DETAILS I	4/16/2021
Mechanical	M002	HVAC - DETAILS II	4/16/2021
Mechanical	M003	HVAC - DETAILS III	4/16/2021
Mechanical	M004	HVAC - DETAILS IV	4/16/2021
Mechanical	M005	HVAC - DETAILS V	4/16/2021
Mechanical	M006	HVAC - DETAILS VI & SCHEDULES I	4/16/2021
Mechanical	M010	HVAC - ENLARGED MECHANICAL PLANS	4/16/2021
Mechanical	M011	HVAC - ENLARGED MECHANICAL PLANS - ADD ALT #1	4/16/2021
Mechanical	M020	HVAC- HYDRONIC PLANT FLOW DIAGRAM	4/16/2021
Mechanical	M021	HVAC- AIRFLOW AND HYDRONI RISER DIAGRAM	4/16/2021
Mechanical	M022	HVAC - AIR HANDLING UNIT DETAILS	4/16/2021
Mechanical	M030	HVAC- ENLARGED MECHANICAL	4/16/2021
Mechanical	M100A	HVAC - BASE FLOOR DUCTWORK	4/16/2021
Mechanical	M100C	HVAC - BASE FLOOR DUCTWORK PLAN - PART C	4/16/2021
Mechanical	M101A	HVAC-FIRST FLOOR DUCTWORK	4/16/2021
Mechanical	M101B	HVAC - FIRST FLOOR DUCTWORK PLAN - PART B	4/16/2021
Mechanical	M101C	HVAC - FIRST FLOOR DUCTWORK PLAN - PART C	4/16/2021
Mechanical	M102A	HVAC - SECOND FLOOR DUCTWORK PLAN - PART A	4/16/2021
Mechanical	M102B	HVAC - SECOND FLOOR DUCTWORK PLAN - PART B	4/16/2021
Mechanical	M102C	HVAC - SECOND FLOOR DUCTWORK PLAN - PART C	4/16/2021
Mechanical	M103A	HVAC - THIRD FLOOR DUCTWORK PLAN - PART A	4/16/2021
Mechanical	M103B	HVAC - THIRD FLOOR DUCTWORK PLAN - PART B	4/16/2021
Mechanical	M103C	HVAC - THIRD FLOOR DUCTWORK PLAN - PART C	4/16/2021
Mechanical	M104A	HVAC - FOURTH FLOOR DUCTWORK PLAN - PART A	4/16/2021
Mechanical	M104B	HVAC - FOURTH FLOOR DUCTWORK PLAN - PART B	4/16/2021
Mechanical	M104C	HVAC - FOURTH FLOOR DUCTWORK PLAN - PART C	4/16/2021
Mechanical	M105	HVAC - ROOF PLAN	4/16/2021
Mechanical	M200A	HVAC - BASE FLOOR PIPING PLAN - PART A	4/16/2021
Mechanical	M200C	HVAC - BASE FLOOR PIPING PLAN - PART C	4/16/2021
Mechanical	M201A	HVAC - FIRST FLOOR PIPING PLAN - PART A	4/16/2021

Mechanical	M201B	HVAC - FIRST FLOOR PIPING PLAN - PART B	4/16/2021
Mechanical	M201C	HVAC - FIRST FLOOR PIPING PLAN - PART C	4/16/2021
Mechanical	M202A	HVAC - SECOND FLOOR PIPING PLAN - PART A	4/16/2021
Mechanical	M202B	HVAC - SECOND FLOOR PIPING PLAN - PART B	4/16/2021
Mechanical	M202C	HVAC - SECOND FLOOR PIPING PLAN - PART C	4/16/2021
Mechanical	M203A	HVAC - THIRD FLOOR PIPING PLAN - PART A	4/16/2021
Mechanical	M203B	HVAC - THIRD FLOOR PIPING PLAN - PART B	4/16/2021
Mechanical	M203C	HVAC - THIRD FLOOR PIPING PLAN - PART C	4/16/2021
Mechanical	M204A	HVAC - FOURTH FLOOR PIPING PLAN - PART A	4/16/2021
Mechanical	M204B	HVAC - FOURTH FLOOR PIPING PLAN - PART B	4/16/2021
Mechanical	M204C	HVAC - FOURTH FLOOR PIPING PLAN - PART C	4/16/2021
Mechanical	M301	HVAC - CONTROLS I	4/16/2021
Mechanical	M302	HVAC - CONTROLS II	4/16/2021
Mechanical	M303	HVAC - CONTROLS III	4/16/2021
Mechanical	M304	HVAC - CONTROLS IV	4/16/2021
Mechanical	M305	HVAC - CONTROLS V	4/16/2021
Mechanical	M306	HVAC - FUEL OIL DIAGRAM AND CONTROLS VI	4/16/2021
Mechanical	M307	HVAC - CONTROLS VII	4/16/2021
Mechanical	M308	HVAC - CONTROLS VIII	4/16/2021
Mechanical	VS1.1	MEP - VIBRATION & SEISMIC DETAILS	4/16/2021
Other	EC	EXISTING CONDITIONS PLAN OF LAND IN BROOKLINE, MA	4/16/2021
Other	XA112B	MULTIPURPOSE ROOM PLANS - FLOOR 2	4/16/2021
Other	XT311	THEATER EQUIPMENT PLANS	4/16/2021
Other	XT321	THEATER EQUIPMENT SECTIONS AND DETAILS	4/16/2021
Other	XT501	THEATER LIGHTING SCHEDULES	4/16/2021
Other	XT502	THEATER LIGHTING SCHEDULES	4/16/2021
Other	XT511	THEATER LIGHTING FOCUS PLANS	4/16/2021
Other	XT531	THEATER LIGHTING RISER DIAGRAM	4/16/2021
Other	XT532	THEATER LIGHTING DETAILS	4/16/2021
Plumbing	P001	LEGEND, NOTES, SCHEDULES, AND DETAILS - PLUMBING	4/16/2021
Plumbing	P002	Plumbing Details- Plumbing	4/16/2021
Plumbing	P003	SANITARY, WASTE & VENT RISER DIAGRAM - PLUMBING	4/16/2021
Plumbing	P004	DOMESTIC WATER RISER DIAGRAM - PLUMBING	4/16/2021
Plumbing	P005	SITE PLAN - PLUMBING	4/16/2021
Plumbing	P010A	BASEMENT FLOOR BELOW SLAB PLAN "A" - PLUMBING	4/16/2021
Plumbing	P010C	BASEMENT FLOOR BELOW SLAB PLAN "C" - PLUMBING	4/16/2021
Plumbing	P011B	FIRST FLOOR BELOW SLAB PLAN "B" - PLUMBING	4/16/2021
Plumbing	P100A	BASEMENT FLOOR PLAN "A" - PLUMBING	4/16/2021
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Gilbane Building Company  
Michael Driscoll School  
Exhibit I- SPECIFICATION LOG  
5/18/2021

Category	Spec #	Specification Name	Specification Date
00 - Procurement and Contracting Requirements	00 00 00	Project Manual for TRADE contractors	4/16/2021
00 - Procurement and Contracting Requirements	00 00 01	MDS Owner/ Construction Manager Agreement	4/16/2021
00 - Procurement and Contracting Requirements	00 00 02	Section 2- General Conditions of the Contract	4/16/2021
00 - Procurement and Contracting Requirements	00 00 03	CM Trade Contract Conditions	4/16/2021
00 - Procurement and Contracting Requirements	00 00 04	General Scope of Work (MDS)	4/16/2021
00 - Procurement and Contracting Requirements	00 00 05	Performance and Labor and Material Payment Bond Forms	4/16/2021
00 - Procurement and Contracting Requirements	00 00 06	Safety Plan	4/16/2021
00 - Procurement and Contracting Requirements	00 00 07	Project Quality Control Plan	4/16/2021
00 - Procurement and Contracting Requirements	00 00 08	CCIP	4/16/2021
00 - Procurement and Contracting Requirements	00 00 09	BIM Scopes of Work	4/16/2021
00 - Procurement and Contracting Requirements	00 00 10	Advanced Planning and Scheduling	4/16/2021
00 - Procurement and Contracting Requirements	00 00 11	Billing Requirements	4/16/2021
00 - Procurement and Contracting Requirements	00 00 12	Tax Exempt Forms	4/16/2021
00 - Procurement and Contracting Requirements	00 00 13	MBE/WBE	4/16/2021
00 - Procurement and Contracting Requirements	00 00 14	Procure Exhibit	4/16/2021
00 - Procurement and Contracting Requirements	00 00 15	Construction Management Plan (CMP)	4/16/2021
00 - Procurement and Contracting Requirements	00 00 16	Trade Parking Area	4/16/2021
00 - Procurement and Contracting Requirements	00 00 17	MDS Construction Indoor Air Quality Plan	4/16/2021
00 - Procurement and Contracting Requirements	00 00 18	SWPPP	4/16/2021
00 - Procurement and Contracting Requirements	00 00 19	Trade Contractor Exhibit B & C's	4/16/2021
00 - Procurement and Contracting Requirements	00 00 20	Addendum 1-4/23/21	4/23/2021
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00 - Procurement and Contracting Requirements	00 01 15	LIST OF DRAWINGS	4/23/2021
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00 - Procurement and Contracting Requirements	00 11 20	Prequalified Trade Contractors	4/16/2021
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00 - Procurement and Contracting Requirements	00 31 32	GEOTECHNICAL DATA	4/16/2021
00 - Procurement and Contracting Requirements	00 31 32.0	Revised Soil Management Plan	4/16/2021
00 - Procurement and Contracting Requirements	00 52 00	Forms of Agreement	4/16/2021
00 - Procurement and Contracting Requirements	00 55 19	TAX EXEMPTION REQUIREMENTS AND CERTIFICATION	4/16/2021
00 - Procurement and Contracting Requirements	00 62 39	MINORITY/WOMENS BUSINESS ENTERPRISE REQUIREMENTS	4/16/2021
00 - Procurement and Contracting Requirements	00 73 43	Wage Rates and Statement of Compliance	4/16/2021
00 - Procurement and Contracting Requirements	22	Addendum 3-5/7/21	5/7/2021
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31 - Earthwork	31 20 01	MANAGEMENT AND DISPOSITION OF EXCAVATED SOIL	4/16/2021
31 - Earthwork	31 22 19	FINE GRADING	4/16/2021
31 - Earthwork	31 23 19	DEWATERING	4/16/2021
31 - Earthwork	31 25 00	EROSION AND SEDIMENTATION CONTROLS	4/16/2021
31 - Earthwork	31 50 00	EXCAVATION SUPPORT AND PROTECTION	4/16/2021

31 - Earthwork	31 50 01	UTILITY EXCAVATION SUPPORT AND PROTECTION	4/16/2021
31 - Earthwork	31 66 00	AGGREGATE PIERS	4/16/2021
32 - Exterior Improvements	32 12 10	GRANULAR SURFACING	4/16/2021
32 - Exterior Improvements	32 12 16	ASPHALT PAVING	4/16/2021
32 - Exterior Improvements	32 12 19	ASPHALT SURFACING SYSTEM	4/16/2021
32 - Exterior Improvements	32 14 00	UNIT PAVERS	4/16/2021
32 - Exterior Improvements	32 16 13	PRECAST CONCRETE PLANTER CURB	4/16/2021
32 - Exterior Improvements	32 16 14	PRECAST CONCRETE CURBS	4/16/2021
32 - Exterior Improvements	32 16 40	GRANITE CURB	4/23/2021
32 - Exterior Improvements	32 17 23	PAVEMENT MARKING	4/16/2021
32 - Exterior Improvements	32 18 16	PLAYGROUND PROTECTIVE SURFACING	4/16/2021
32 - Exterior Improvements	32 18 23	Infilled Synthetic Turf System	4/16/2021
32 - Exterior Improvements	32 31 13	CHAIN LINK FENCE	4/16/2021
32 - Exterior Improvements	32 32 17	PRECAST GRAVITY RETAINING WALL	4/16/2021
32 - Exterior Improvements	32 40 05	RAIN GARDEN	4/16/2021
32 - Exterior Improvements	32 84 00	IRRIGATION SYSTEM	4/16/2021
32 - Exterior Improvements	32 90 00	PLANTING	4/16/2021
32 - Exterior Improvements	32 91 15	PLANTING SOILS	4/16/2021
32 - Exterior Improvements	32 92 00	LAWNS	4/16/2021
32 - Exterior Improvements	32 93 53	PLANTING MAINTENANCE	4/16/2021
33 - Utilities	33 05 13	MANHOLES AND STRUCTURES	4/16/2021
33 - Utilities	33 10 00	WATER UTILITIES	4/16/2021
33 - Utilities	33 31 00	SANITARY UTILITY SEWERAGE PIPING	4/16/2021
33 - Utilities	33 41 00	STORM UTILITY DRAINAGE PIPING	4/16/2021





**Michael Driscoll School**

**Exhibit J**

**Construction Management & Logistics Plan**

**Michael Driscoll School  
Guaranteed Maximum Price**

64 Westbourne Terrace  
Brookline,  
Massachusetts



Construction  
Management Plan  
Gilbane Building  
Company

April 14, 2021

1. Introduction

**1.1 Project Description:** The Project includes the construction of a Four story steel frame building with 1 level below grade to house mechanical space and an athletic suite. The building consists of a concrete foundation, four levels of steel and concrete construction with a masonry and storefront/metal panel facade. Construction is scheduled to begin in June 2021 and will be completed in July 2024. The Gilbane contact for this project is Robert Braga - Superintendent, contact information is as follows;

Office: NA  
Cell: (617) 212-3482  
Email: rbraga@gilbaneco.com

**1.2 General Information:** The development of this site will require earth retention on all four sides of the site. The earth retention will be on the property and abandoned in place after work is complete per the zoning board requirements. The project may also require the underpinning of two adjacent buildings. See attached SOE.

2. Construction Methodology

**2.1 Construction Activity Schedule:** The Town of Brookline typically allows construction work from 7:00 A.M. to 7:00 P.M., Monday through Friday. Weekend work hours are 8:30am to 5:00 pm. This project site is located in a predominantly residential neighborhood, these times will be strictly enforced.

**2.2 Demolition:** The demolition scope will include the complete removal of the existing building structure. The demolition debris will be disposed of at a properly licensed solid waste disposal facility. All trucks carrying demolition debris will be covered when leaving the site. During demolition, provisions will be made for the use of water spray to control the generation of dust, as well as street sweeping.

**2.3 Construction Staging Areas:** The proposed staging plans will be designed to isolate construction activities while maintaining safe access for pedestrians and vehicles during normal day-to-day activities and emergencies. The initial site mobilization will include installation of a 6-foot-high chain-link fence w/ a debris scrim to isolate the construction area. The primary construction gates will be located along Washington Street. Our logistics plan proposes (2) - 30' sliding gates on Washington St to enter and exit the site. Water-filled Jersey barrier will be installed 5' from site fence to create temporary 5' wide pedestrian walkway, this will be closed while construction activities are being performed, sidewalk will open at close of construction work-day, approximately 4:30PM. During the construction of this project on an as needed basis a Brookline Police Detail may be required at Washington St. and/or Westbourne Terrace. (Refer to "Insert C" on Page 7) There will also be a 30' sliding gate at Westbourne Terrace. All staging will occur within the area bordered by the project fence. The site fence will provide safe access for bicycle and automobile traffic adjacent to the Project. During working hours pedestrian routing plan (shown drawing sheet 7) on Washington St is reflected by use of the crosswalk at Salisbury Rd to the opposite side of Washington St, then crossing back over at Beacon St. – This is only during construction

working hours. This sidewalk closure will be for the duration of the project during project working hours from 6:30AM to 4:30PM Monday through Friday (approx. 24 months), and some Saturday's if construction is planned. At 4:30PM the designated 5' wide pedestrian walkway will be opened in-front of the Construction site on Washington street. The bike lane will default to shared travel lane on Washington Street. Temporary asphalt ramps will provide a transition from the street to pedestrian walkway at either end. The sidewalk on Westbourne St will include a partial covered walkway where the new building is closest to the sidewalk. Temporary Sidewalk closures will be requested if necessary. All construction activity will be kept within the designated areas approved by the CMP.

**2.4 Signage:** There will be directional signage required as our operations will impact adjacent walkways and vehicular traffic. Sidewalks and Streets will be impacted as outlined in the attached logistics plan. Permitting for the sidewalk work will be in place prior to the erection of the site fence.

Flashing Beacons to be installed at Crosswalk on Westbourne Terrace. Flashing Beacons to be installed at Crosswalk located at Salisbury Road and Washington St. "Sidewalk Closed" MUTCD R9-9 signage to be installed as per attached drawing sheets 4 & 6. Pedestrian signage including flashing crosswalk beacons, speed limit, school zone, etc. will be installed prior to construction, as per Brookline approved standard.

**2.5 Roadway Cleaning:** Street sweeping and sidewalk sweeping will be performed daily to keep truck debris from being tracked over roadways. As Construction vehicles are exiting the site, they are required to use designated wheel wash stations.

**2.6 Existing Tannery Brook Drain Line (20 x 30) Demolition:** This line will remain active until Support of excavation and building foundation at "Building C" have been installed. DMH 2, 3, 4 & 5 and 36" Drain Line will be installed and connected prior to demolition of 20 x 30 Tanner Brook line. SE Corner of Existing school Gym assumes Bottom of footing 102'-6". No underpinning will be required at this location, Sheets will be installed prior to footing and drain line.

### 3. Perimeter Protection/Public Safety

**3.1 Contractor Obligations:** Gilbane will work to ensure the staging areas minimize impact to pedestrian and vehicular flow. Secure fencing and barricades will be used to isolate construction areas from pedestrian traffic around the site. Where appropriate, police details will be provided to facilitate traffic flow and pedestrian safety at the request of the Director of Engineering & Transportation or Police Department. Construction procedures will be designed to meet all OSHA safety standards.

**3.2 Temp Covered Walkway:** A temporary 5' covered walkway will be installed adjacent to the New Building at Bartlett Crescent Street also referred to as Teacher Parking Lot. This temp covered walkway will be removed at completion of project. A Temporary covered walkway will be installed on Westbourne Terrace at the sidewalk closest to new building to allow for pedestrian travel during construction.

### 4. Material Handling

**4.1 Construction Waste:** Gilbane will take an active role with regard to the reprocessing and recycling of construction waste. The disposal contract will include specification requirements that will ensure that construction procedures allow for the necessary segregation, reprocessing, reuse, and recycling of materials. For those materials that cannot be recycled, solid waste will be transported in covered trucks to an approved solid waste facility, per the Department of Environmental Protection (DEP) Regulations for Solid Waste Facilities, 310 CMR 16.00. This requirement will be specified in the disposal contract as well as for the general construction debris generated by this project during ALL phases of construction.

### 5. Construction Traffic Impacts

**5.1 Worker Parking:** Because the construction workers will typically arrive prior to peak traffic periods, construction trips are not expected to adversely affect traffic conditions. All trades will be directed to park at long

term parking meters along Beacon Street.

Personnel will arrive at the job site either by public transportation or by personal vehicles. No personal vehicles will be allowed to park at the project construction site. Any parking requirements will be met offsite utilizing long term parking meters along Beacon Street, and other on-street parking options while complying with the Town parking regulations.

The Contractor will encourage the use of public transportation and restrict parking as part of each of its subcontracts. This is typical on projects within densely populated areas. Workers will be encouraged to carpool with co-workers or to utilize the numerous public transportation options available in this part of Brookline.

Construction workers are not allowed to park on residential side streets in the Town and are not eligible for temporary parking permits.

**5.2 Truck Routes:** Truck routes will include the use of Washington Street and Westbourne Terrace. Washington Street will have 2 gates (in and out) of the site. Westbourne Terrace will have 1 gate (entrance / exit). Truck routing will be encouraged to travel along major roads and highways to alleviate traffic on neighborhood streets. Refer to Drawing Sheet 18. Trucking turning into the site on Washington street are Right Turn only. Trucks exiting the site onto Washington St are Right Turn only. Trucks entering and exiting the site at Westbourne Terrace gate are Left Turn Only.

**5.3 Off-Site Staging:** At no time will Town streets be used for crane placement, staging of trucks, and/or off-loading of trucks without separate permit application and approval. Where construction activities do not allow for immediate access from Washington Street into the construction zone, trucks will be staged off-site at a location to be designated by the Construction Manager and the Town Engineering and Transportation Division. Gilbane will directly coordinate, via a dedicated queuing operation, the off-site staging areas to ensure that a controlled and limited number of construction vehicles have access to the construction site at any one period in time. Off-site construction staging areas for the Project shall be limited to those specifically agreed upon by the Contractor and the Brookline Engineering and Transportation Division.

**5.4 Temporary curb cuts:** There will be 3 temporary curb cuts installed for access into the site, 1 located at each gate. These curb cuts will be removed once permanent sidewalk is installed. The Westbourne entrance into the alley at retail shops will be widened to allow for safe access of larger vehicles. See attached drawing sheet 3 for reference.

**5.5** There will be 2 Parking spots available in front of the NGRID Vault on Washington street to allow for short term parking. 15 Minute Parking Signs as per drawing sheet 7.

**5.6** Any town parking meters are to be removed by Town Highway Division staff, this work to be coordinated by Construction Manager.

## **6 Construction Air Quality**

**6.1 Contractor Obligations:** Construction activities may generate fugitive dust, which will result in a localized increase in airborne particular levels. Fugitive dust emissions from construction activities will depend on such factors as the properties of the emitting surfaces (e.g. moisture content and volume of spills), meteorological variables, and construction practices employed. To reduce the emission of fugitive dust and to minimize impacts on the environment, the General Contractor will adhere to a number of strictly enforced mitigation measures, including the following:

**6.1** Wetting agents will be used regularly to control and suppress dust that has the potential to become airborne by wind.

**6.2** All trucks for transportation of construction debris will be fully covered.

- 6.3 Storage of construction debris will be within the fenced-in site and in strict coordination with abutters and their corresponding operations.
- 6.4 Construction practices will be monitored to ensure that unnecessary transfers and mechanical disturbances of loose materials are minimized and that any emissions of dust are negligible.
- 6.5 Streets and sidewalks will be cleaned regularly to minimize dust accumulations. If any contaminated soil is encountered during excavation, it will be temporarily stockpiled and covered on-site while arrangements are made for proper removal and disposal.
- 6.6 Dust monitoring will be implemented by sampling the air against baseline. Sampling will be gathered during preconstruction.

## 7 Construction Noise

7.1 Contractor Obligations: Every reasonable effort will be made to minimize the noise impact of construction activities.

Mitigation measures will include:

- 7.1 Instituting a proactive program to ensure compliance with the Town of Brookline noise Limitation policy.
- 7.2 Maintain an “idle free” work zone of fossil fuel trucks and equipment by providing supplemental electrical hoisting and pumping equipment along with “just-in-time” delivery methods. On-site idling will be limited to 5 minutes.
- 7.3 Locating noisy equipment as far as possible from sensitive areas.
- 7.4 Identifying and maintaining truck routes that minimize traffic noise within the Project’s neighborhood.
- 7.5 Mandating that certain equipment have the proper sound attenuation devices.
- 7.6 Scheduling equipment operations to keep average levels low, to synchronize noisiest operations with times of highest ambient levels, and to maintain relatively uniform noise levels.
- 7.7 Noise monitoring will be implemented to measure noise levels against the baseline. Sampling will be gathered during preconstruction.

## 8 Other Construction Mitigation Measures

8.1 Rodent Control: A rodent extermination certificate will be filed with the building permit application to the Town. Rodent inspection monitoring and treatment will be carried out before, during, and at the completion of all construction work for the proposed Project, in compliance with the Town’s requirements. Rodent extermination prior to work start-up will consist of treatment of areas throughout the Project site. During the construction process, regular service visits will be made.

These specifications will include all the following requirements:

- 8.2 The CM will conduct a thorough inspection of the site and provide an assessment of the site as it relates to pest control. A written assessment will be submitted listing pests present on the site, the extent of infestation, and if any activities in the area contribute to the potential pest problems. The report will also contain suggestions for remediation.
- 8.3 Within an agreed amount of time after conducting the initial inspection and assessment, the General Contractor will present a Pest Management Plan for approval.
- 8.4 The plan is to include details concerning:
  - Training for appropriate parties about the plan.
  - Frequency of technician visits and the activities they will perform.
  - A description of the pest-monitoring program.The Project Team will review and renew the Pest Management Plan as conditions warrant.
- 8.5 The CM will provide Service Reports after each service visit, which should include a listing of the pesticides used and at what location, results of the monitoring, description of any conditions that may be contributing to the pest problems, and/or any other actions that may have been taken.
- 8.6 The CM will maintain construction and lay-down areas and their perimeters free of trash and garbage, and provide and enforce proper use of refuse containers to ensure rodents and other pests are not harbored or

attracted.

8.7 The CM will designate specific locations as lunch and coffee break areas to prevent random disposal of garbage and trash, and will keep those areas free of litter by providing the necessary number of heavy-duty refuse containers.

## 9 Site Maintenance/Snow Removal

9.1 Contractor Obligations: Public sidewalk areas adjacent to the property will be cleared and kept free of snow, dust, and other debris on an as needed basis. The Contractor will remove snow from within the site fence to an offsite location or stockpiled within the construction fence limits.

## 10. Miscellaneous Provisions

10.1 Sanitary Facilities: Workers will be provided with toilets to and hand wash stations to be serviced as required.

10.2 Modifications to the CMP: Any modifications to this plan will be coordinated with the Town Engineering and Transportation Division.

10.3 COVID 19 Protocols are to be followed as outlined per CDC (including the United States Centers for Disease Control and Prevention (“CDC”) and the World Health Organization (“WHO”)) Brookline and Massachusetts Health Department and GBCO Safety Plan. Trades should self-certify and take temperature prior to arriving at work, Maintain safe social distancing (6’-0” or more) while working, no congregating during lunch breaks, must wear appropriate face coverings at all times, frequent hand washing, stay home if ill or Temperature is above 100.4, daily check-in and certification upon entry into project. Enforcement Under the authority of the Town By-Law Article 10.3 Non- Criminal Disposition, the Town may fine the Contractor \$50.00 for each occurrence of any employee or subcontractor not adhering to these regulations.

10.4 During Voter Polling at the existing Michael Driscoll School- Two (2) temporary Handicapped Parking will be made available on Bartlett Crescent. See Drawing 7 clouded location. Temporary parking permits to be requested as needed.

## MEMORANDUM

**TO:** Lynda Callahan  
Gilbane Building Company  
Boston, MA 02210

**FROM:** Stephen M. Boudreau, P.E. *SMB*  
Vanasse & Associates, Inc.  
35 New England Business Center Drive,  
Suite 140  
Andover, MA 01810

**DATE:** November 20, 2020

**RE:** 8757

**SUBJECT:** Michael Driscoll School - Construction Management Plan  
Pedestrian Detour  
Brookline, Massachusetts

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This memorandum discusses the proposed pedestrian detour associated with the Construction Management Plan for the Michael Driscoll School in Brookline, Massachusetts. The pedestrian detour is intended to provide a safe path for pedestrians, especially students, to and from the school along Washington Street between Beacon Street and the school driveway. Please refer to Sheet 7 and 8 of the Construction Management Plan dated December 2020 for the pedestrian detour.

Construction site access is proposed on Washington Street via a 30-foot-wide entrance gate and a 30-foot-wide egress gate. With approximately 50 trucks entering and exiting the site per day on Washington Street, the pedestrian detour is designed to minimize conflict points between pedestrians and construction operations, and to maintain an accessible alternative route for the safety of the public and school students. During working hours (6:30 AM to 4:30 PM), the sidewalk will be closed on Washington Street along the school construction site. Pedestrians will use the crosswalk located at the intersection of Washington Street and the school driveway/Salisbury Road, travel along the sidewalk on the southeast side of Washington Street, and cross back across Washington Street at the intersection of Beacon Street. The school driveway crosswalk is unsignalized; however, a crossing guard will be stationed at this crossing during the hours of morning school drop-off and afternoon pick-up times. The crosswalk at Beacon Street is signalized with Accessible Pedestrian Signal (APS) equipment including push buttons and walk/don't walk indications to facilitate safe pedestrian crossing at this intersection. During non-working hours (4:30 PM to 6:30 AM), weekends, and holidays, pedestrian access will be maintained on the north side of Washington Street via the existing sidewalk or a temporary Americans with Disabilities Act (ADA) compliant pedestrian route. A police detail will be stationed at the Washington Street construction access gates, as required by the town.

The pedestrian detour minimizes the redirection of pedestrian travel utilizing existing, ADA compliant pedestrian facilities while maintaining full access in close proximity to businesses in the area. The existing pedestrian facilities can adequately support the change in pedestrian traffic patterns (for peak hour pedestrian volumes, see Figure 4 in the Transportation Impact Assessment prepared by Vanasse & Associates, Inc., dated December of 2018). It is our recommendation that closing the sidewalk adjacent to the construction site on Washington Street during working hours is the safest alternative, will minimize conflicts between pedestrians and construction operations and will maintain an accessible alternative route for the safety of the public and school students.

If you have any questions or require additional information, please do not hesitate to call me at 978-474-8800.



# CONSTRUCTION MANAGEMENT PLAN

PLAN OF  
MICHAEL DRISCOLL SCHOOL

IN THE TOWN OF  
BROOKLINE  
NORFOLK COUNTY

THE COMMONWEALTH OF MASSACHUSETTS

PROJECT TITLE

Michael Driscoll School  
Construction Management  
Plan

Brookline,  
Massachusetts

PREPARED FOR

Gilbane Building  
Company

Boston,  
Massachusetts



35 N.E. BUSINESS CENTER DRIVE  
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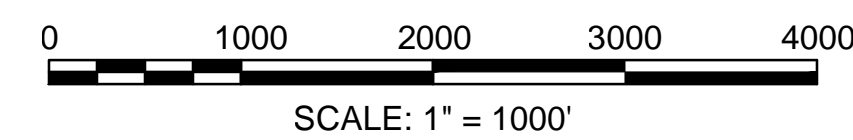
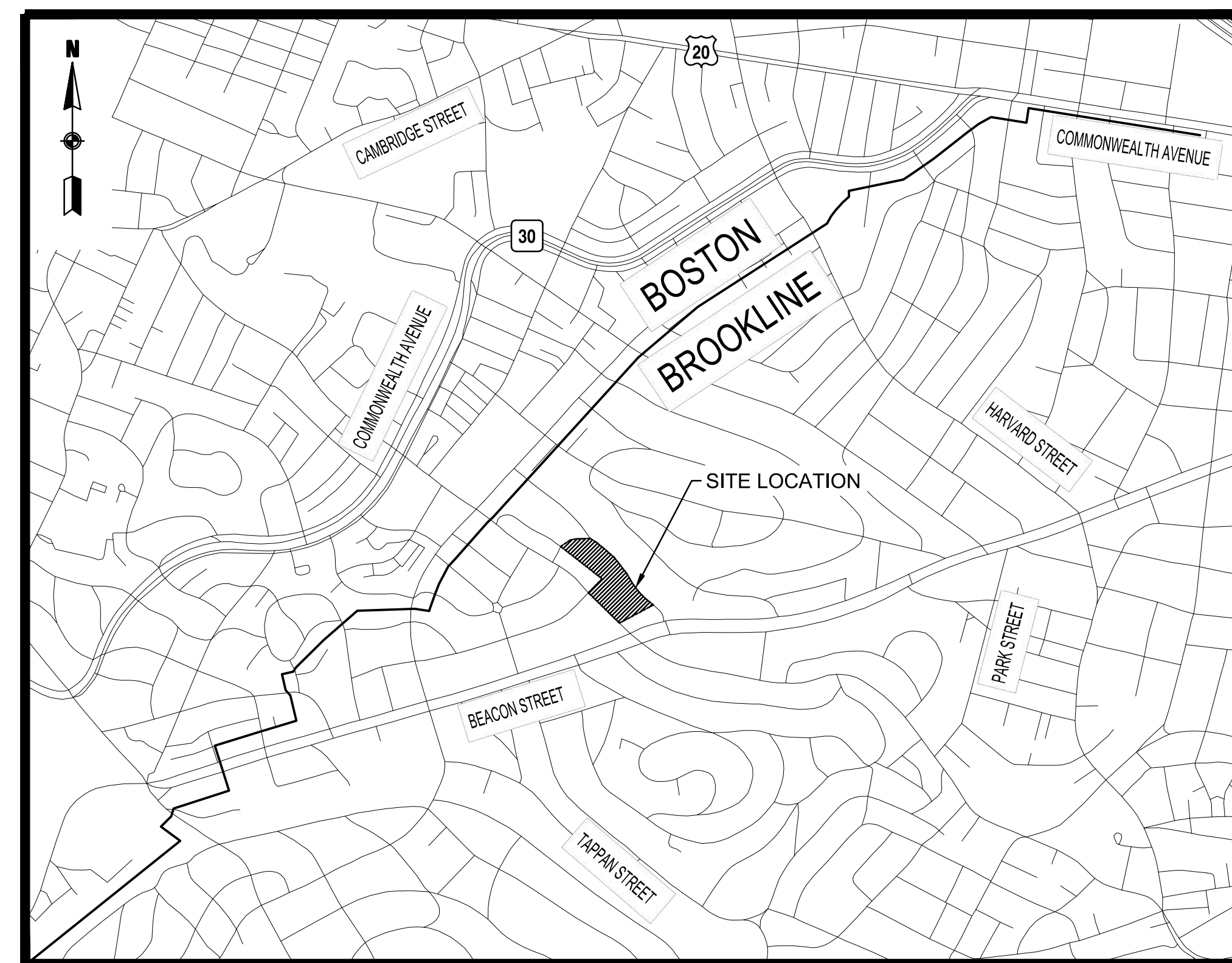
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CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
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REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Title Sheet & Index

SHEET 1 OF 17	DRAWING NUMBER
JOB NO. 8757	
CAD 8757DS	



DECEMBER 2020

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES, LEGEND & SCHEDULE
3	CONSTRUCTION DETAILS & SIGN SUMMARY
4	WHEELCHAIR RAMP & CONSTRUCTION DETAILS
5-6	PHASE 1 - SITE ENABLING
7-8	PHASE 2 - BUILDING CONSTRUCTION
9-10	PHASE 3 - DEMOLITION, FIELD CONSTRUCTION & LANDSCAPING
11-16	TRUCK TURNING MANEUVERS
17	TRUCK ROUTING PLAN



## GENERAL NOTES

- THESE PLANS ARE NOT INTENDED TO LIMIT THE CONTRACTORS RIGHT TO SCHEDULE THE WORK BUT TO OUTLINE ONE WAY OF PROGRESSING. THE CONTRACTOR IS EXPECTED TO USE KNOWLEDGE AND EXPERIENCE TO PERFORM THE WORK IN THE MOST SAFE AND EFFICIENT MANNER IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS AND MEETING THE REQUIREMENTS OF THE TOWN OF BROOKLINE.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE TOWN, CONSTRUCTION MANAGEMENT PLANS FOR ANY WORK OUTSIDE OF THE WORK ZONES INDICATED IN THESE DRAWINGS.
- ALTERNATIVE PHASING OR MODIFICATIONS TO ANY ASPECT OF THE CONSTRUCTION MANAGEMENT PLANS AND THE CONSTRUCTION STAGING PLANS WILL BE SUBJECT TO REVIEW FOR ACCEPTANCE BY THE TOWN PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE SUBMISSION AND REVIEW OF ALTERNATIVE CONSTRUCTION MANAGEMENT PLANS AND CONSTRUCTION STAGING PLANS, INCLUDING PRESENTATION TO THE TOWN AND THE NEIGHBORHOOD IF NEEDED, VEHICULAR AND PEDESTRIAN TRAFFIC MODELING, LEVEL OF SERVICE (LOS) ANALYSES, AND OTHER ASSOCIATED EFFORTS. ALTERNATIVE CONSTRUCTION MANAGEMENT AND CONSTRUCTION STAGING PLANS SHALL NOT CAUSE AN INTERFERENCE WITH ADJACENT CONTRACTS OR DELAY THE SCHEDULE OR INCREASE THE COST OF THIS OR ANY ADJACENT CONTRACTS. LEVEL OF SERVICE ANALYSIS SHALL BE DEFINED BY THE "HIGHWAY CAPACITY MANUAL."
- THE CONSTRUCTION MANAGEMENT PLANS REQUIRE THAT SPECIFIC SIDEWALK WIDTHS BE MAINTAINED DURING THE VARIOUS STAGES OF CONSTRUCTION TO FACILITATE ACCEPTABLE PEDESTRIAN LEVEL OF SERVICE (LOS) MOVEMENTS ALONG TRAVEL WAYS TO AND FROM ABUTTING BUILDING AND BUSINESSES WITHIN THE PROJECT LIMITS. THE MINIMUM SIDEWALK WIDTHS SHOWN ON THE TRAFFIC MANAGEMENT PLANS ARE BASED ON ENGINEERING ANALYSIS AND ARE LOCATED ON THE PLANS AROUND TEMPORARY FIXED BARRICADED WORK ZONES AT SITE SPECIFIC POINTS OF CONSTRUCTION. THE SIDEWALK WIDTHS SHOWN ON THE CONSTRUCTION MANAGEMENT PLANS SHALL NOT BE DEVIATED FROM WITHOUT THE PERMISSION OF THE TOWN. WHEN SPECIFIC DIMENSIONS ARE NOT SHOWN, THE CONTRACTOR SHALL MAINTAIN A MINIMUM 4-FOOT PASSAGE.
  - CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY PEDESTRIAN ROUTE ACCESSIBLE TO DISABLED PERSONS AROUND BLOCKAGES TO AN EXISTING PEDESTRIAN ROUTE (E.G., SIDEWALKS, CROSSWALKS, PEDESTRIAN CURB RAMPS, ETC.). BLOCKAGES INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION WORK, EXCAVATIONS, EQUIPMENT AND VEHICLES, TEMPORARY WATER AND UTILITY LINES.
  - SIDEWALK AREAS SHALL REMAIN OPEN AND FREE FROM SAFETY CONTROL DEVICES AND CONSTRUCTION DEBRIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. PEDESTRIAN DETOURING SHALL NOT OCCUR UNLESS APPROVED BY THE TOWN.
- CONTRACTOR SHALL SECURE WORK AREAS TO ENSURE PUBLIC SAFETY AND CONVENIENCE. THIS SHALL INCLUDE ENSURING THAT ALL EXCAVATIONS ARE PROTECTED AT ALL TIMES.
- ALL CONSTRUCTION SIGNING, DRUMS, BARRICADES AND OTHER DEVICES SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS AMENDED.
- CHANNELIZATION WILL BE ACCOMPLISHED THROUGH THE USE OF REFLECTORIZED PLASTIC DRUMS OR APPROVED EQUAL IN ACCORDANCE WITH THE MUTCD.
- CONTRACTOR SHALL COORDINATE WITH THE TOWN TO ACCOMMODATE ACCESS NEEDS OF ABUTTING PROPERTIES NOT SPECIFIED IN THE PLANS.

- CONTRACTOR SHALL MAINTAIN EMERGENCY PASSAGE AT ALL TIMES TO BUILDINGS WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL MAINTAIN 24-HOUR EMERGENCY VEHICLE ACCESS TO AND THROUGH CONSTRUCTION AREAS.
- SAFETY SIGNS PROPOSED FOR LOCATIONS OTHER THAN ERECTED ON TEMPORARY BARRICADES MAY BE ERECTED ON EXISTING LIGHTPOLES, SIGNPOSTS, AND OTHER EXISTING FEATURES AS APPROVED BY THE TOWN.
- LOCATIONS OF SIGNS SHOWN ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL ENSURE THAT SIGNS ARE PLACED SO MAXIMUM VISIBILITY IS OBTAINED.
- EXISTING SIGNAGE WHICH CONFLICTS WITH PROPOSED SIGNING SHALL BE REMOVED AND STACKED OR COVERED AS DETERMINED BY THE TOWN. IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE SIGNAGE TO ORIGINAL.
- THE BROOKLINE POLICE, FIRE, AND TRANSPORTATION DEPARTMENTS SHALL BE ADVISED OF THE SCHEDULE OF CONSTRUCTION AS WELL AS OF ANY DETOURS OR ALTERNATE ROUTES.
- THE CONTRACTOR SHALL NOT REMOVE PARKING METER HEADS AND SHALL COORDINATE WITH THE TOWN OF BROOKLINE FOR THEIR REMOVAL.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE TOWN FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AT NO ADDITIONAL COST TO THE TOWN. IF THE CONTRACTOR ADJUSTS UTILITY COVERS IT SHALL BE DEEMED PART OF THE WORK AND THERE WILL BE NO ADDITIONAL COMPENSATION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING GRADING, PAVEMENT RESTORATION, OR REPAVING.
- THE ACCURACY AND COMPLETENESS OF UNDERGROUND UTILITIES ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE DIGGING BEGINS, THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233. ALL TOWN OWNED UTILITY STRUCTURES WITHIN AREAS AFFECTED BY THE WORK SHALL BE ADJUSTED TO NEW LINE AND GRADE AS DIRECTED BY THE ENGINEER. ANY UTILITY POLES AND/OR GUY POLES WITHIN AREAS AFFECTED BY THE WORK SHALL BE REMOVED AND RESET BY THE RESPECTIVE UTILITY COMPANY. ALTERATIONS TO UTILITIES NOT OWNED BY THE TOWN SHALL BE MADE BY THE RESPECTIVE UTILITY OWNERS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSTRUCTION MANAGEMENT EFFORTS OUTSIDE OF THE SITE PLANS AND TO COMPLY WITH CONDITIONS OUTLINED WITHIN THE PLANS AND SPECIFICATIONS USING APPROVED METHODS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS, INCLUDING STAGING AREAS, SHALL BE RESTORED BY THE CONTRACTOR TO THEIR

- ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT ADDITIONAL WORK WITHIN THE PROJECT LIMITS MAY BE PERFORMED BY OTHERS.
  - THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL VERIFY PROPERTY LIMITS PRIOR TO CONSTRUCTION AND PLACE ANY TEMPORARY OR NEW EQUIPMENT WITHIN THE PROJECT LIMITS OR THE TOWN OF BROOKLINE'S RIGHT OF WAY.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT FOR REVIEW A DETAILED SCHEDULE OF OPERATIONS IN ADDITION TO OTHER CONTRACT REQUIREMENTS TO THE TOWN OF BROOKLINE AND PUBLIC WORKS DEPARTMENT.
  - ANY WORK ASSOCIATED WITH THIS CONSTRUCTION MANAGEMENT PLAN SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN STANDARD SPECIFICATIONS AND DRAWINGS.
  - NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE TOWN.
  - THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AT HIS OWN EXPENSE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE STREET LIGHTING ADJACENT TO THE PROJECT, FOR THE DURATION OF THE PROJECT, AS APPROVED BY THE TOWN. CONTRACTOR SHALL ENSURE THAT STREET LIGHTING SERVICE WILL NOT BE INTERRUPTED AND THAT STREET LIGHTING WILL BE OPERATIONAL AT THE END OF EACH WORKDAY.
  - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, OR APPROVED EQUAL, AND MEET STD SPECIFICATION, IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE PAVEMENT MARKINGS TO ORIGINAL.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC SIGNAL EQUIPMENT, LOOP DETECTORS, PAVEMENT MARKINGS, AND SIGNAGE DAMAGED OR TEMPORARILY REMOVED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL ERADICATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS.
  - CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY WEIGHT RESTRICTIONS ON AREA BRIDGES AND TO INSURE THAT TRAFFIC DOES NOT EXCEED WEIGHT RESTRICTIONS IF BRIDGES ARE USED.
  - AT CROSSWALK LOCATIONS AND OTHER LOCATIONS WHERE PEDESTRIAN AND/OR VEHICLE SIGHT LINES MAY BE IMPACTED BY CONSTRUCTION FENCING, THE CONTRACTOR SHALL NOT INSTALL ANY SCREEN THAT MAY DIMINISH SIGHT LINES.
  - CONSTRUCTION WORKERS SHALL NOT PARK ON RESIDENTIAL STREETS IN THE TOWN AND ARE NOT ELIGIBLE FOR TEMPORARY PARKING PERMITS.
  - ALL FINAL PAVEMENT MARKINGS SHALL COMPLY WITH TOWN STANDARDS AND REFLECT THE VOTE BY THE TRANSPORTATION BOARD.
  - ANY TOWN SIGNS, POLES, STREET LIGHTS, TRAFFIC SIGNALS, ETC. ARE TO BE STACKED FOR HIGHWAY DIVISION STAFF REVIEW FOR SALVAGE. THE CONTRACTOR SHALL DISPOSE OF REMAINING MATERIAL.

## STREET FURNITURE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		SIGN POST
		STREET LIGHT
		HYDRANT
		MAILBOX
		FIRE ALARM BOX
		WHEELCHAIR RAMP

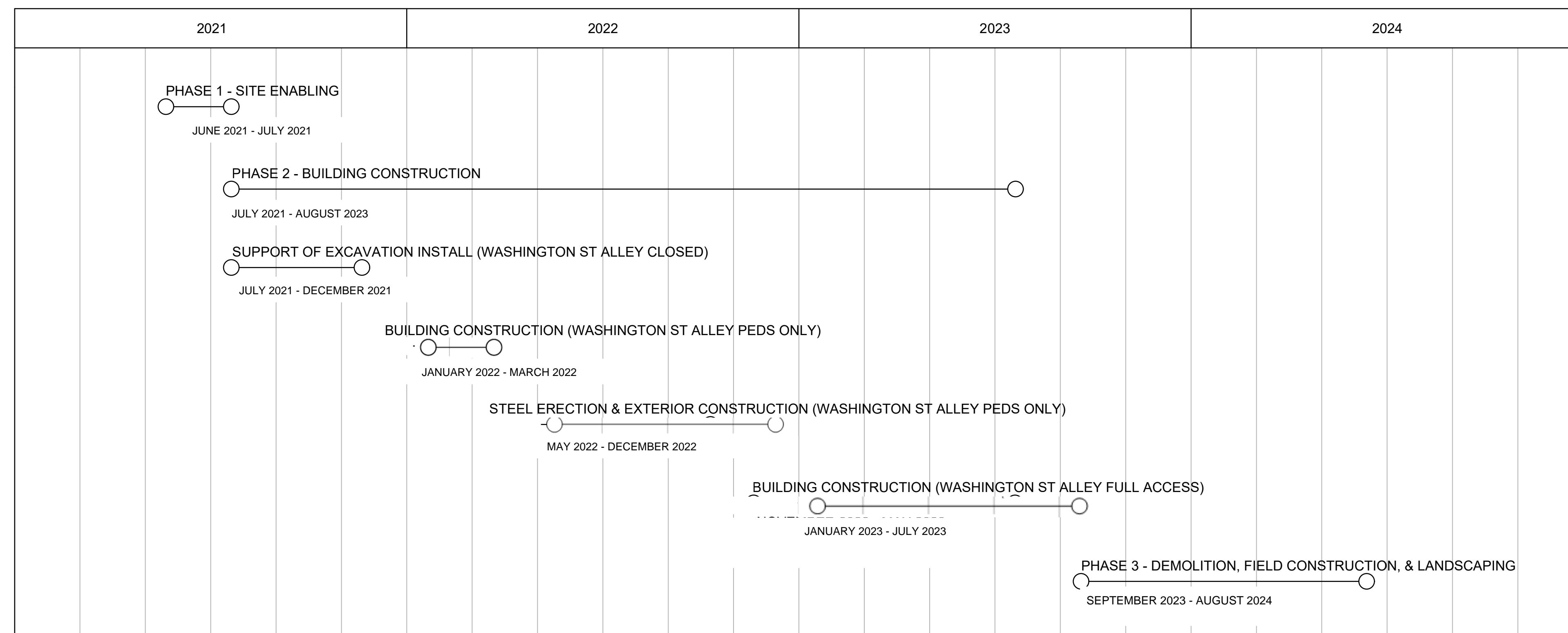
## GENERAL LEGEND

	TEMPORARY CONCRETE BARRIER
	CONSTRUCTION FENCE
	PEDESTRIAN DETOUR ROUTE
	PEDESTRIAN FLOW
	ENTERING TRUCK TRAFFIC
	EXITING TRUCK TRAFFIC
	POLICE DETAIL
	CROSSING GUARD

## ABBREVIATIONS

APPROX	APPROXIMATE
CEM	CEMENT
CONC	CONCRETE
EXIST	EXISTING
HMA	HOT MIX ASPHALT
MAX	MAXIMUM
MIN	MINIMUM
PROP	PROPOSED
R&R	REMOVE & RESET
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
WCR	WHEELCHAIR RAMP

## BAR SCHEDULE



PROJECT TITLE

Michael Driscoll School  
Construction Management  
Plan

Brookline,  
Massachusetts

PREPARED FOR

Gilbane Building  
Company

Boston,  
Massachusetts



35 N.E. BUSINESS CENTER DRIVE  
ANDOVER, MA 01810-1071  
TEL: (978) 474-8800  
www.rdva.com

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DRAWN BY	---
CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

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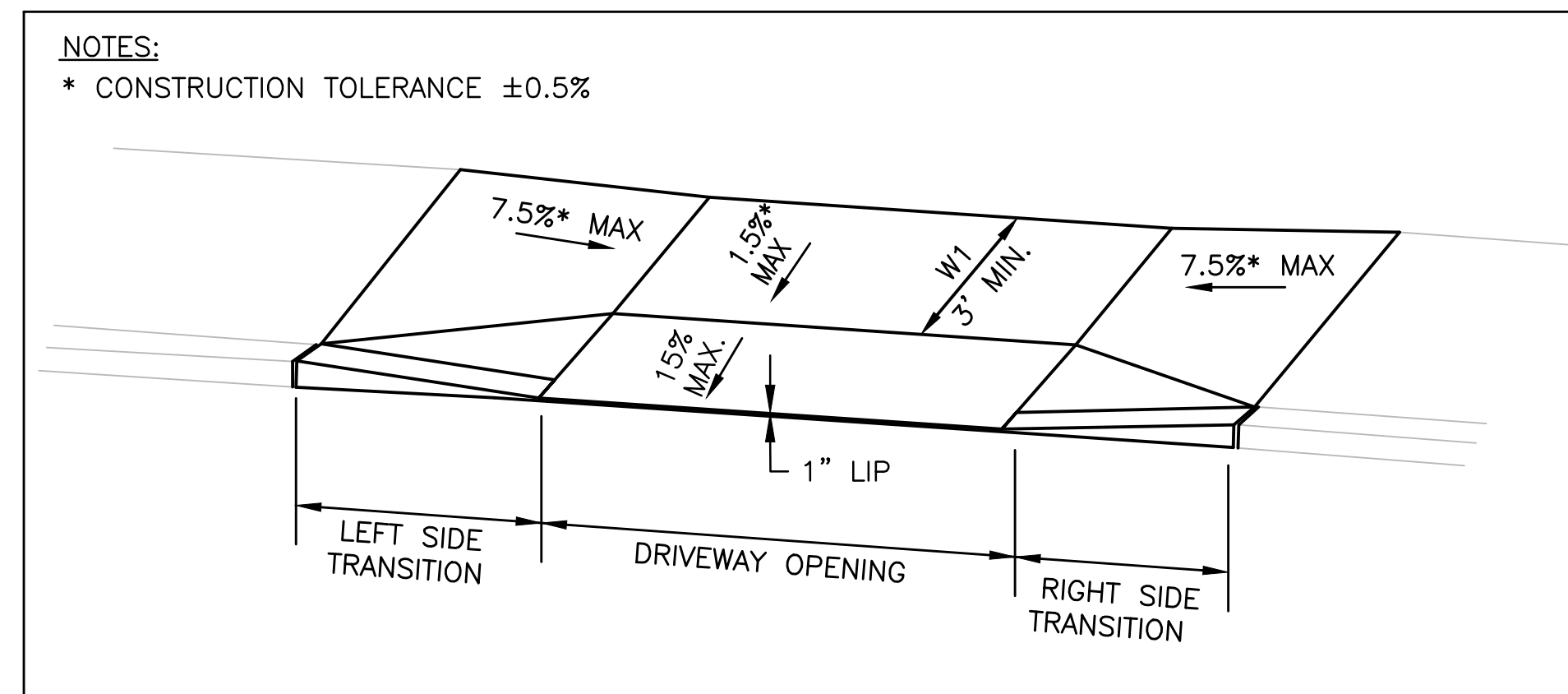
General Notes,  
Legend & Schedule

SHEET 2 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>2</b>
CAD 8757DS	

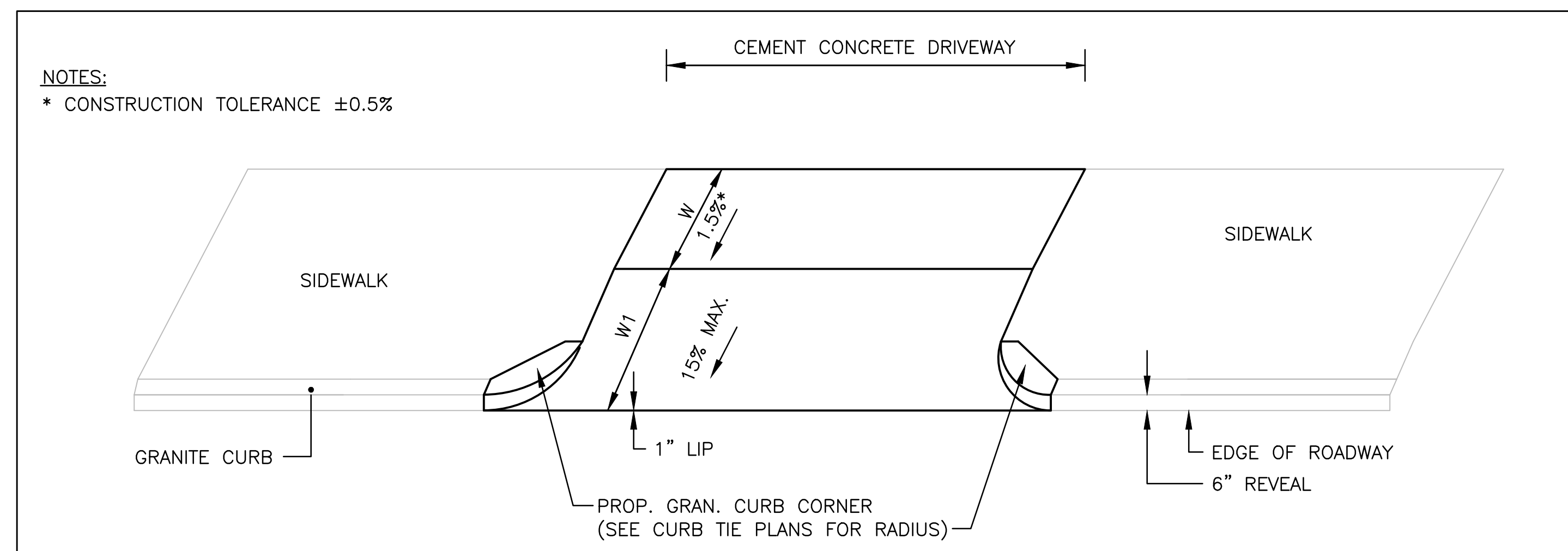
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IDENTIFICATION NUMBER	SIZE OF SIGN (INCHES)		UNIT AREA SF	TEXT	TEXT DIMENSIONS	COLOR			POST SIZE AND NUMBER REQUIRED PER SIGN
	WIDTH	HEIGHT				BACK-GROUND	LEGEND	BORDER	
M4-9bL	30"	24"	5.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT ON BARRICADE
M4-9bR	30"	24"	5.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT ON BARRICADE
OM-3L	12"	36"	3.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	MOUNT BELOW S1-1
R7-2aL	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-2aR	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-4	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-4(L/R)	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-5(L/R)	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R9-9	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11L	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11R	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11aL	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11aR	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11bR	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11c	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R11-4	60"	30"	12.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
S1-1	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	P-5 1
S1-1	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1

IDENTIFICATION NUMBER	SIZE OF SIGN (INCHES)		UNIT AREA SF	TEXT	TEXT DIMENSIONS	COLOR			POST SIZE AND NUMBER REQUIRED PER SIGN
	WIDTH	HEIGHT				BACK-GROUND	LEGEND	BORDER	
W5-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
W16-7P	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT BELOW W11-2
W16-7P	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	MOUNT BELOW W11-2
W20-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
R5-1	-	-	-		EXIST SIGN TO BE R&R	-	-	-	MOUNT BELOW R6-1
R6-1	-	-	-		EXIST SIGN TO BE R&R	-	-	-	P-5 1



NOT TO SCALE



NOT TO SCALE

PROJECT TITLE

Michael Driscoll School  
Construction Management  
Plan

Brookline,  
Massachusetts

PREPARED FOR

Gilbane Building  
Company

Boston,  
Massachusetts

**VA** Vannase &  
Associates inc  
Transportation Engineers & Planners

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NO.	DESCRIPTION	DATE

DRAWING TITLE

Construction Details  
& Sign Summary

SHEET 3 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>3</b>
CAD: 8757DS	

DESIGNED BY	MPP
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DATE	DECEMBER 2020
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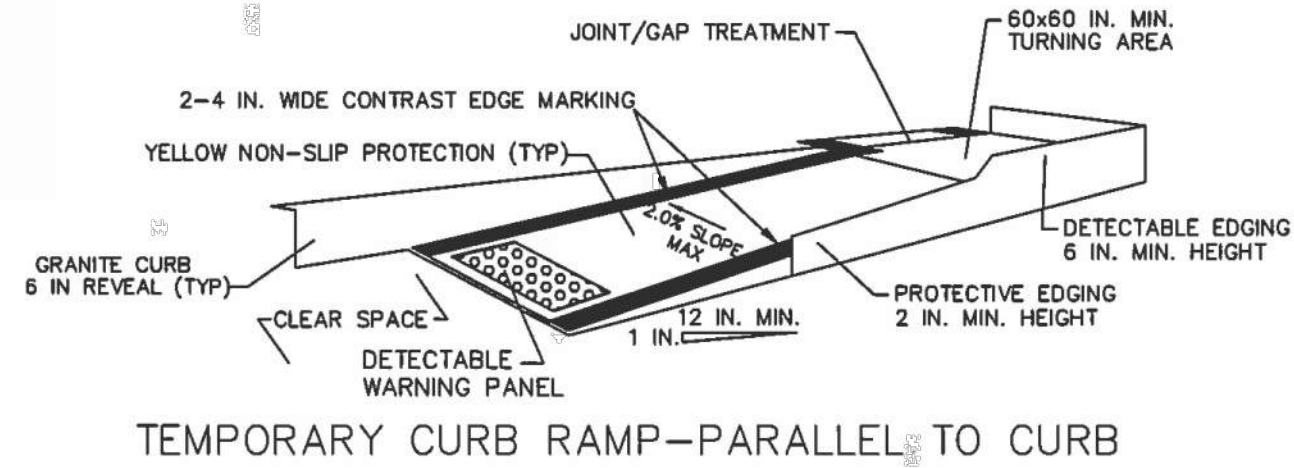
REVISIONS		
NO.	DESCRIPTION	DATE

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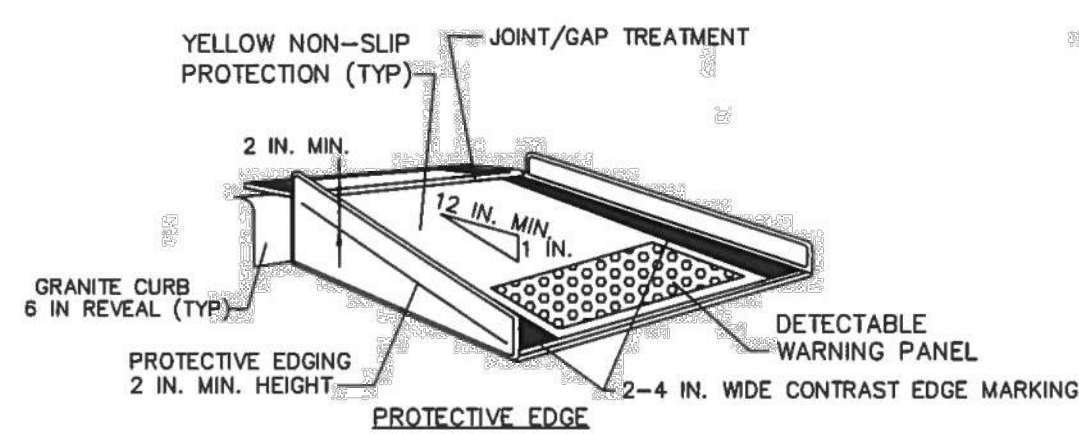
**PEDESTRIAN TYPICAL DETAILS**

NOTES:

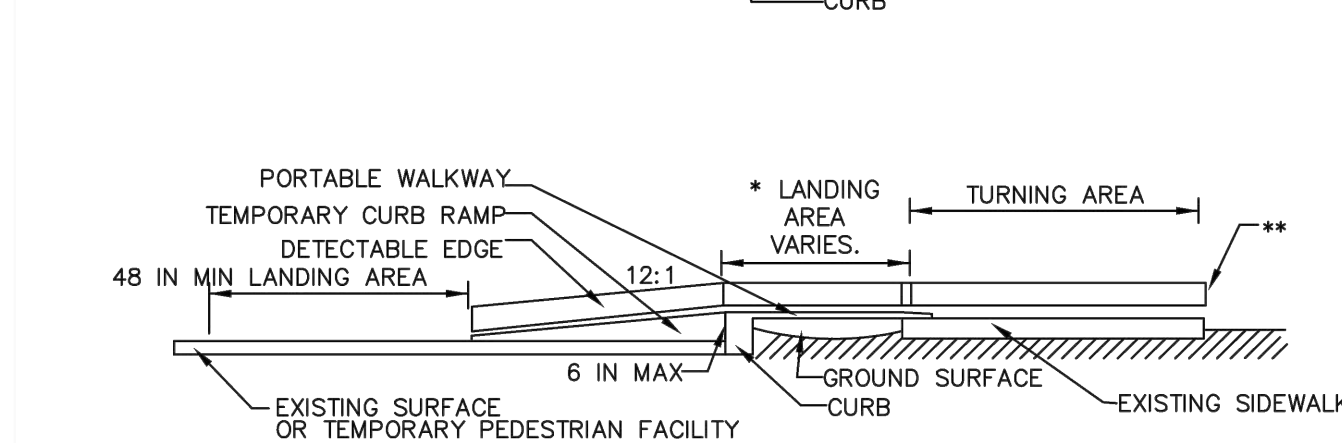
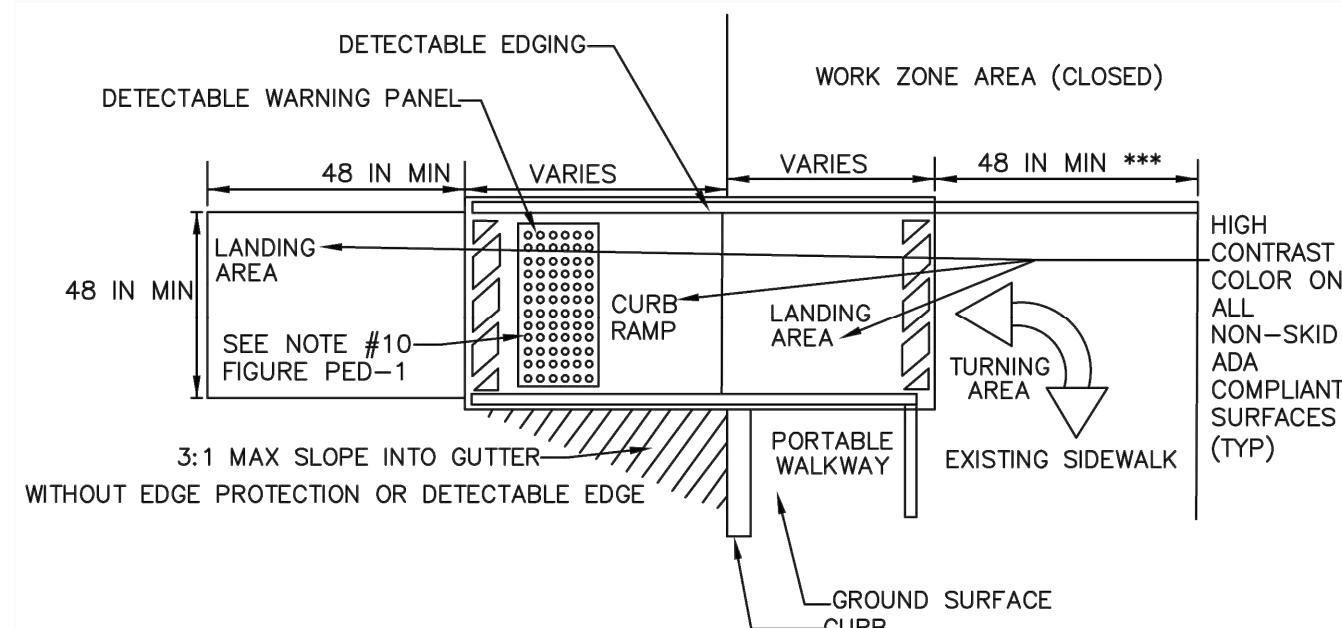
1. CURB RAMP SHALL BE 60 IN. MINIMUM WIDTH WITH A FIRM, STABLE AND NON-SLIP SURFACE.
2. PROTECTIVE EDGING WITH A 2 IN. MINIMUM HEIGHT SHALL BE INSTALLED WHEN THE CURB RAMP OR LANDING PLATFORM HAS A VERTICAL DROP OF 6 IN. OR GREATER OR HAS A SIDE APRON SLOPE STEEPER THAN 1:3 (33%). PROTECTIVE EDGING SHOULD BE CONSIDERED WHEN THE CURB RAMP OR LANDING PLATFORMS HAVE A VERTICAL DROP OF 3 IN. OR MORE.
3. DETECTABLE EDGING WITH 6 IN. MINIMUM HEIGHT AND CONTRASTING COLOR SHALL BE INSTALLED ON ALL CURB RAMP LANDINGS WHERE THE WALKWAY CHANGES DIRECTION (TURNS).
4. THE CURB RAMP WALKWAY AND LANDING AREA SURFACE SHALL BE OF A SOLID CONTINUOUS CONTRASTING COLOR ABUTTING UP TO THE EXISTING SIDEWALK.
5. CURB RAMP AND LANDINGS SHOULD HAVE A 1:50 (2%) MAX CROSS-SLOPE.
6. CLEAR SPACE OF 48x48 IN. MINIMUM SHALL BE PROVIDED ABOVE AND BELOW THE CURB RAMP.
7. WATER FLOW IN THE GUTTER SYSTEM SHALL HAVE MINIMAL RESTRICTION.
8. LATERAL JOINTS OR GAPS BETWEEN SURFACES SHALL BE LESS THAN 0.5 IN. WIDTH.
9. CHANGES BETWEEN SURFACE HEIGHTS SHOULD NOT EXCEED 0.5 IN. LATERAL EDGES SHOULD BE VERTICAL UP TO 0.25 IN. HIGH, AND BEVELED AT 1:2 BETWEEN 0.25 IN. AND 0.5 IN. HEIGHT.
10. IF A TEMPORARY PEDESTRIAN RAMP LEADS TO A CROSSWALK, THEN A DETECTABLE WARNING PAD MUST BE ADHERED TO THE BASE OF THE RAMP. IF IT LEADS TO A PROTECTED PEDESTRIAN BYPASS THAT DOES NOT CONFLICT WITH VEHICULAR TRAFFIC, THEN A PAD SHALL NOT BE INSTALLED ON THE RAMP.



TEMPORARY CURB RAMP—PARALLEL TO CURB

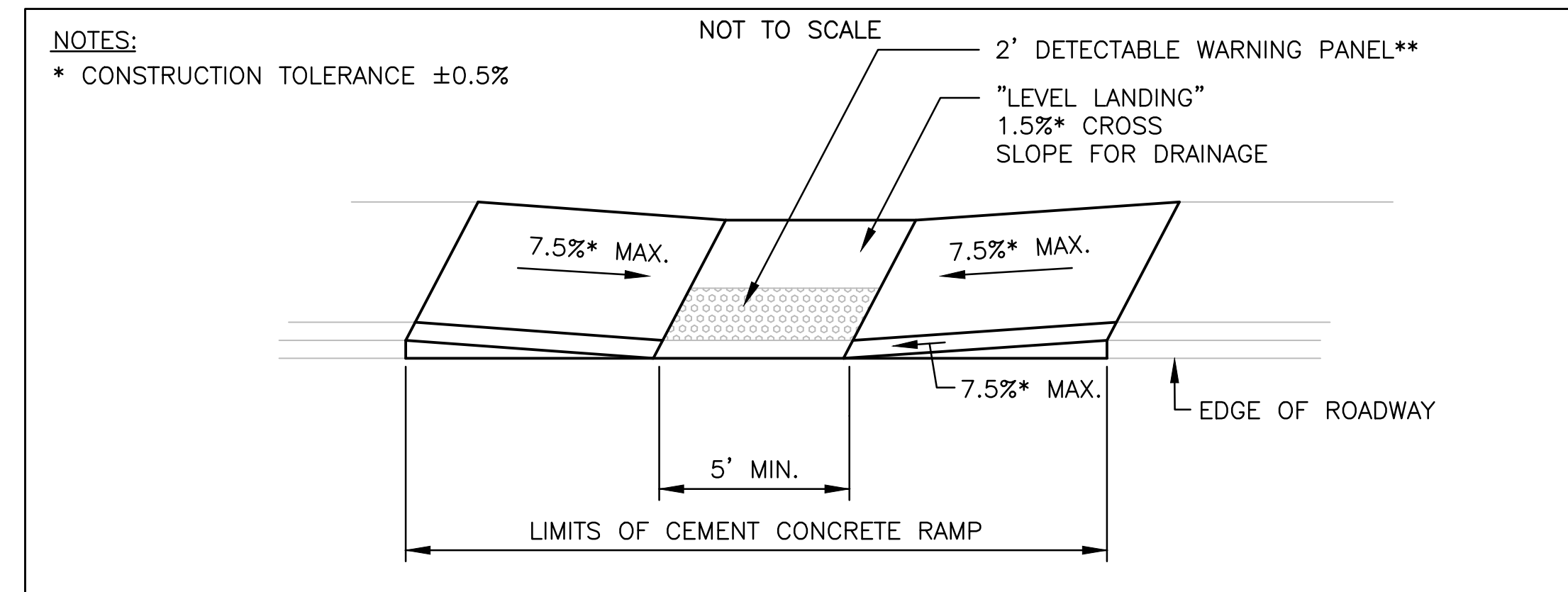


TEMPORARY CURB RAMP—PERPENDICULAR TO CURB

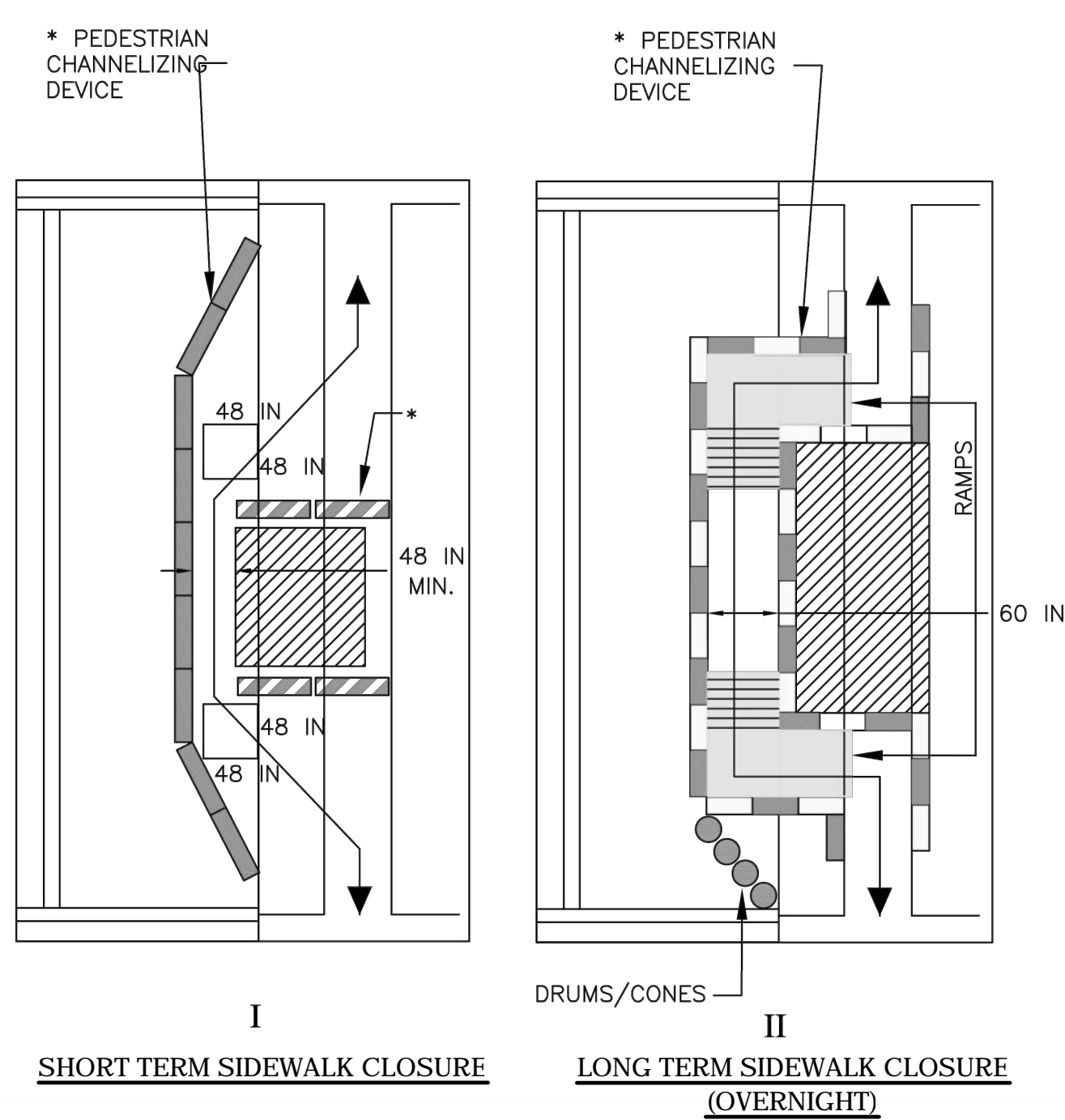


TEMPORARY CURB RAMP

- \* -LANDING AREA USED TO OVERLAP NON-ADA COMPLIANT SURFACES.
- \*\* -DETECTABLE EDGE REMOVED IF A CONTINUOUS SIDEWALK.
- \*\*\* -60 IN. IF AN OBSTRUCTION IS AT BACK OF SIDEWALK



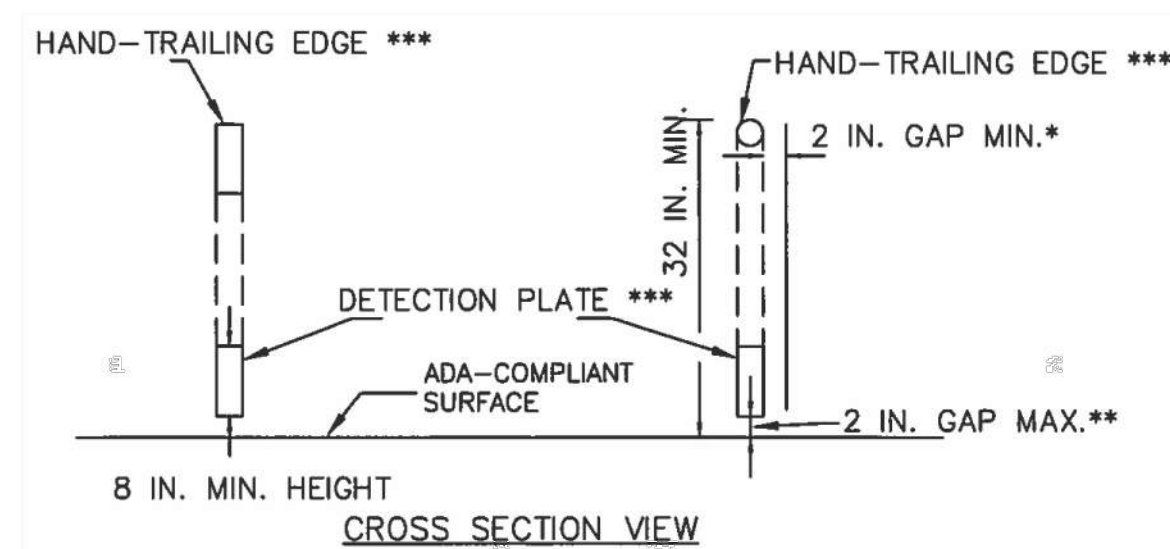
- NOTES:  
\* CONSTRUCTION TOLERANCE ±0.5%



**RELOCATING PEDESTRIAN FACILITIES**

NOT TO SCALE

NOTE: CONTRACTOR SHALL MAINTAIN ADA-COMPLIANT PEDESTRIAN ACCESS ALONG ALL SIDEWALKS AND CROSSWALKS, AND TO ALL ABUTTERS. ANY PEDESTRIAN DETOURS SHALL INCLUDE A FULLY ADA-COMPLIANT PEDESTRIAN DETOUR ROUTE WITH PROPER BARRICADES, RAILINGS, RAMPS, AND SIGNAGE.

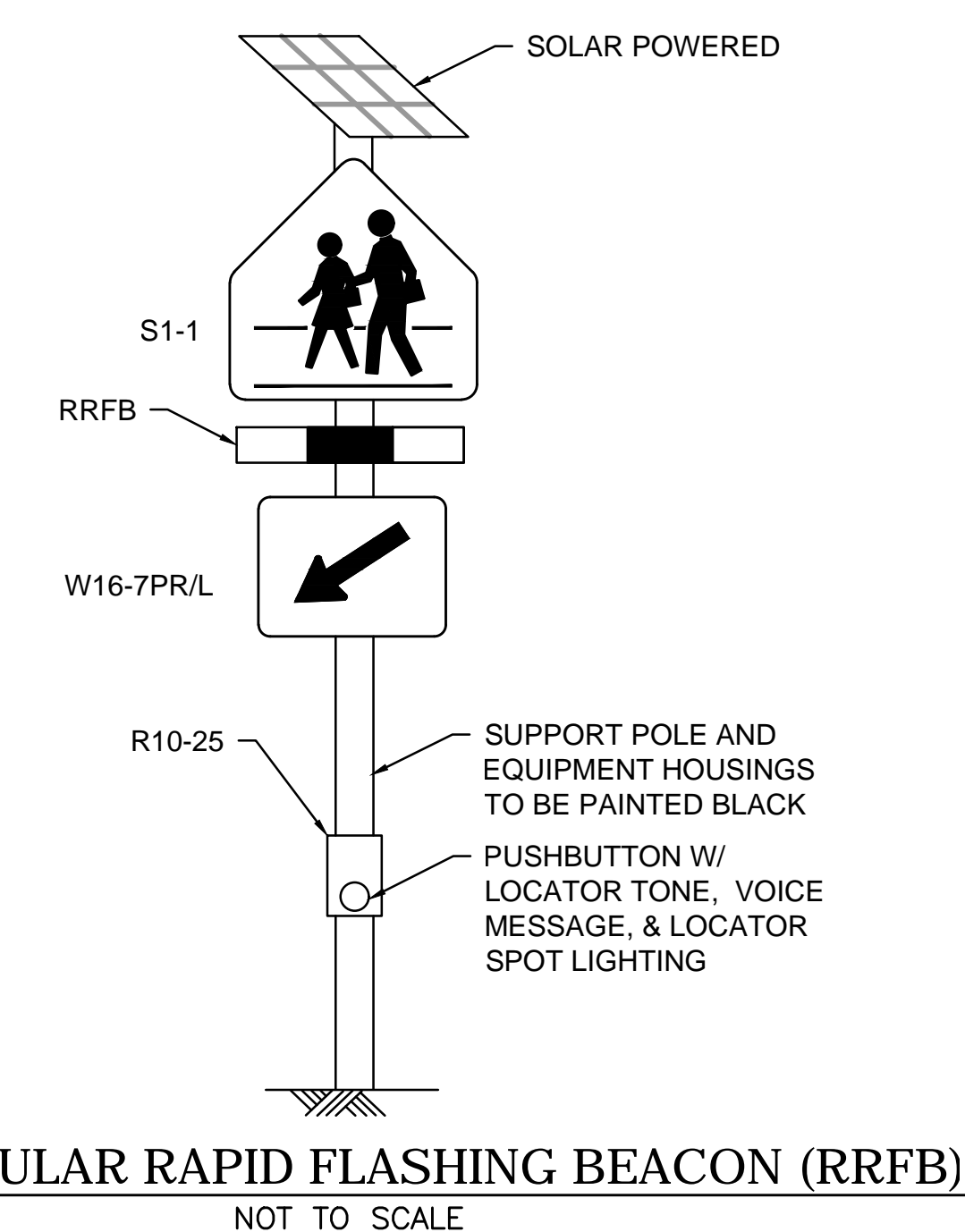


PEDESTRIAN CHANNELIZING DEVICE

NOTES:

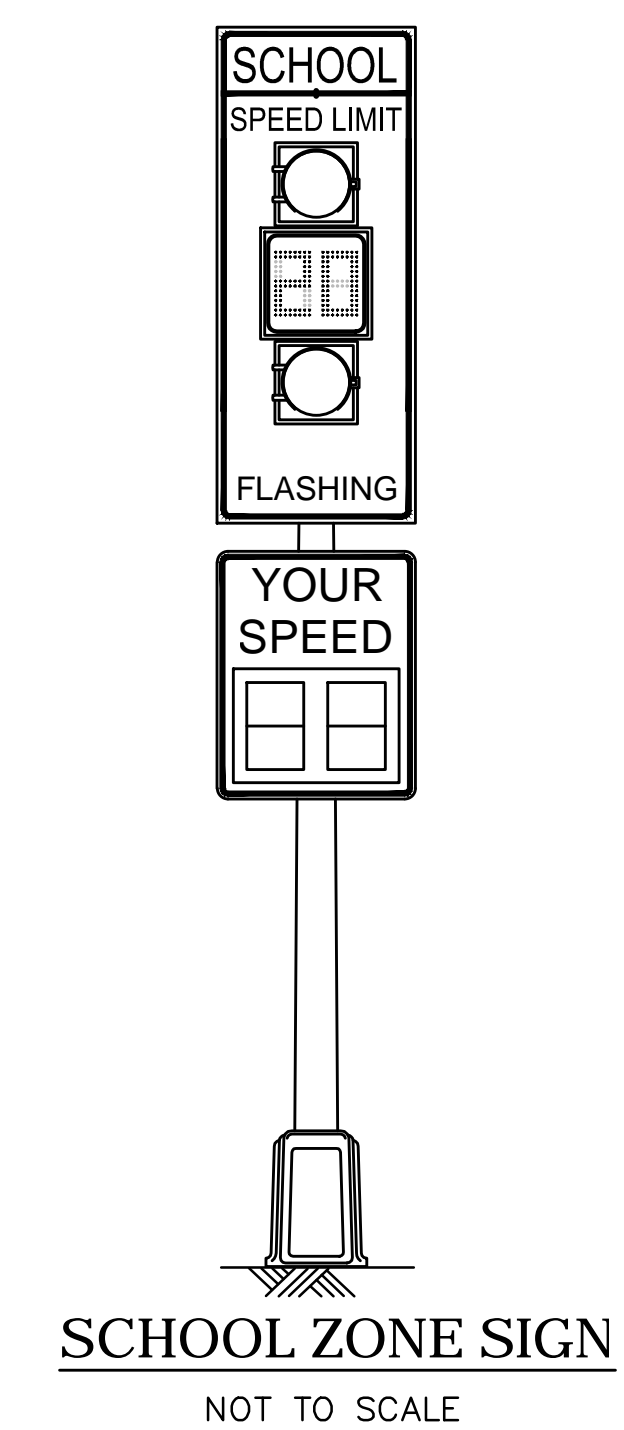
- \* THERE SHALL BE A 2 INCH GAP BETWEEN THE HAND-TRAILING EDGE AND ITS SUPPORT.
- \*\* A MAXIMUM 2 INCH GAP BETWEEN THE BOTTOM OF THE BOTTOM RAIL AND THE SURFACE MAY BE USED TO PROVIDE DRAINAGE.
- \*\*\* THE HAND-TRAILING EDGE AND DETECTION PLATE SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE PATH SUCH THAT A PEDESTRIAN USER WITH A LONG CANE CAN FOLLOW IT.

TEMPORARY PEDESTRIAN DELINEATION DETAILS



RECTANGULAR RAPID FLASHING BEACON (RRFB)

NOT TO SCALE



SCHOOL ZONE SIGN

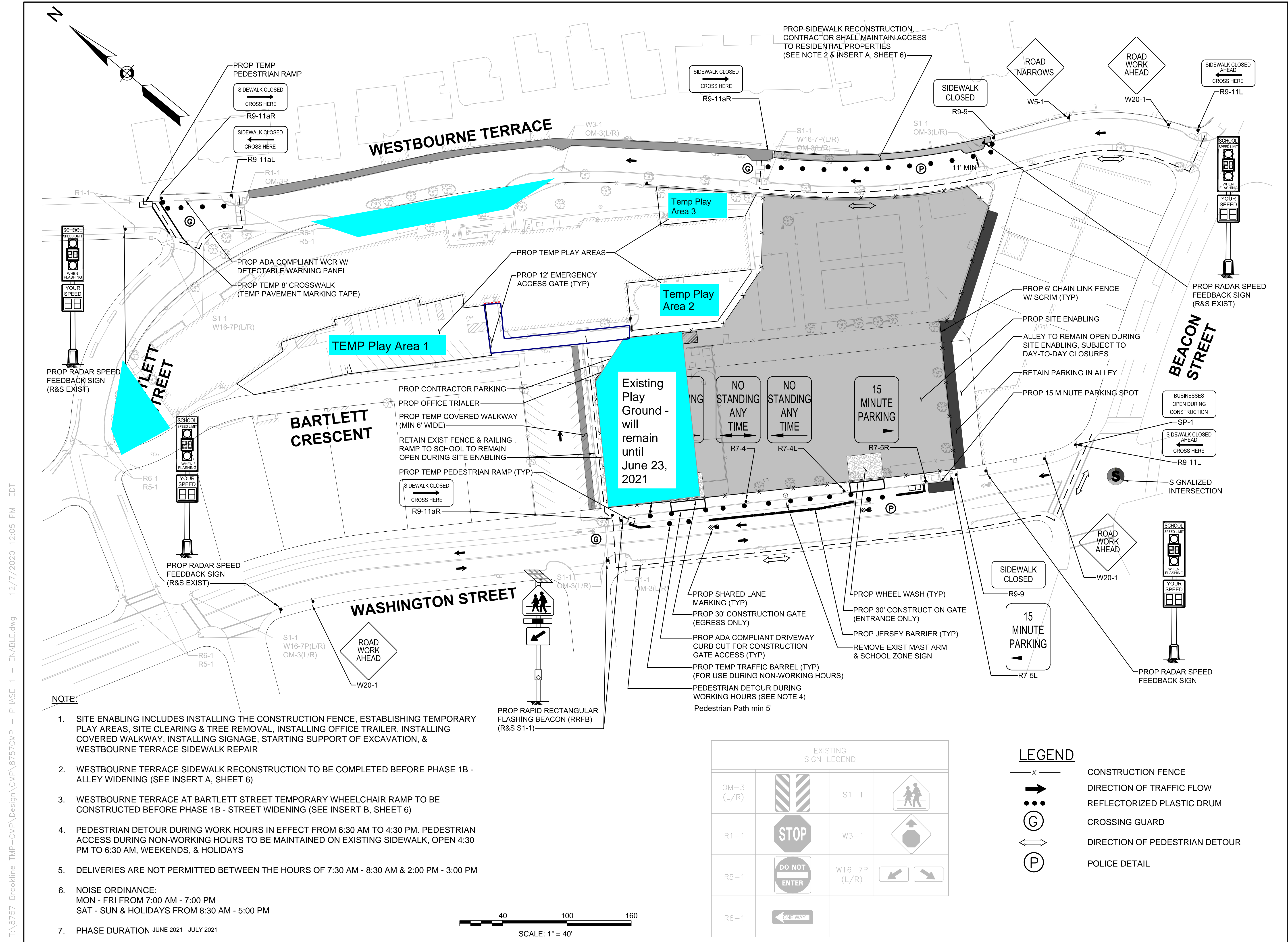
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REVISIONS		
NO.	DESCRIPTION	DATE

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**Phase 1 –  
 Site Enabling**



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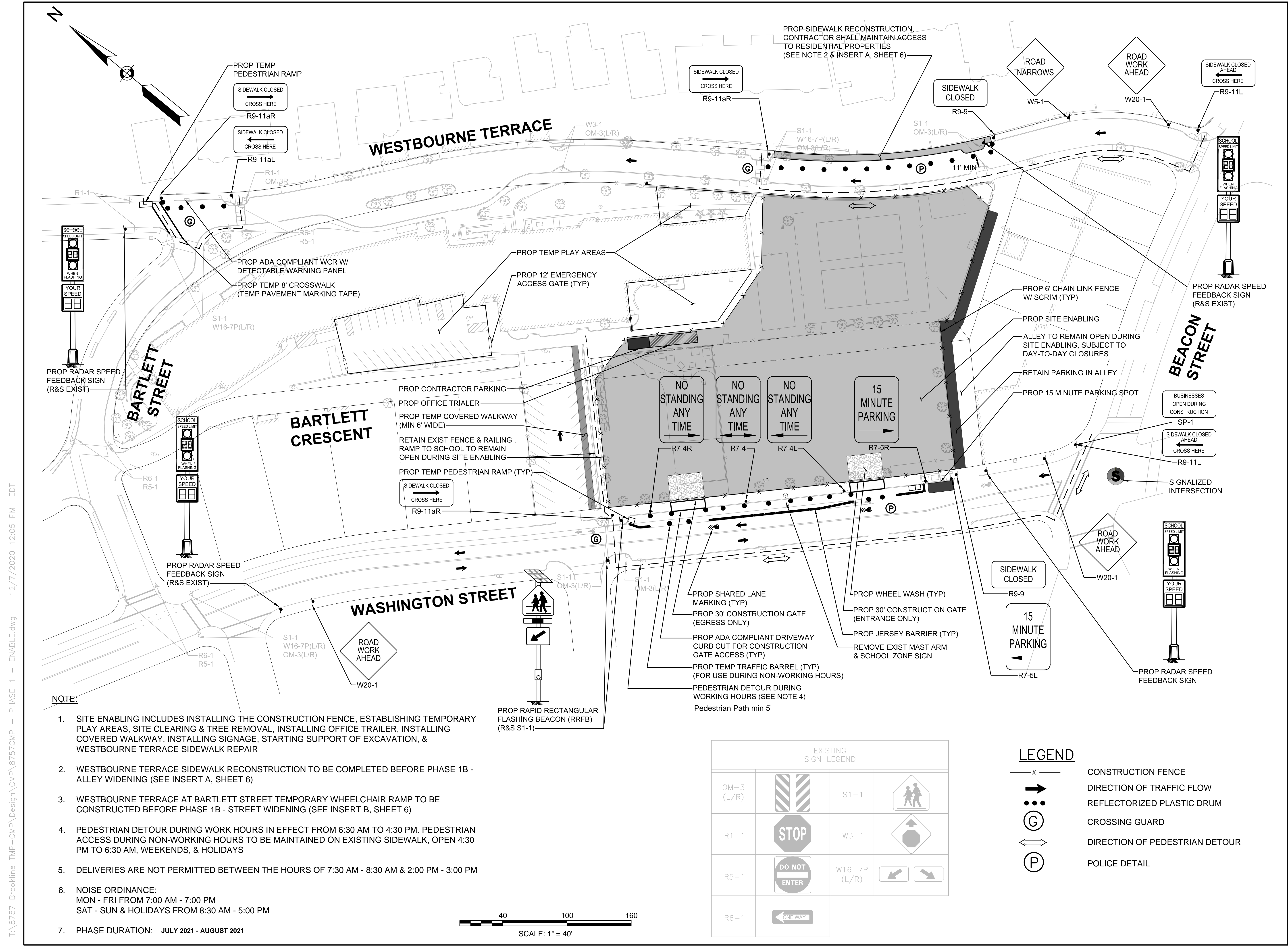
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DATE	DECEMBER 2020
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REVISIONS		
NO.	DESCRIPTION	DATE

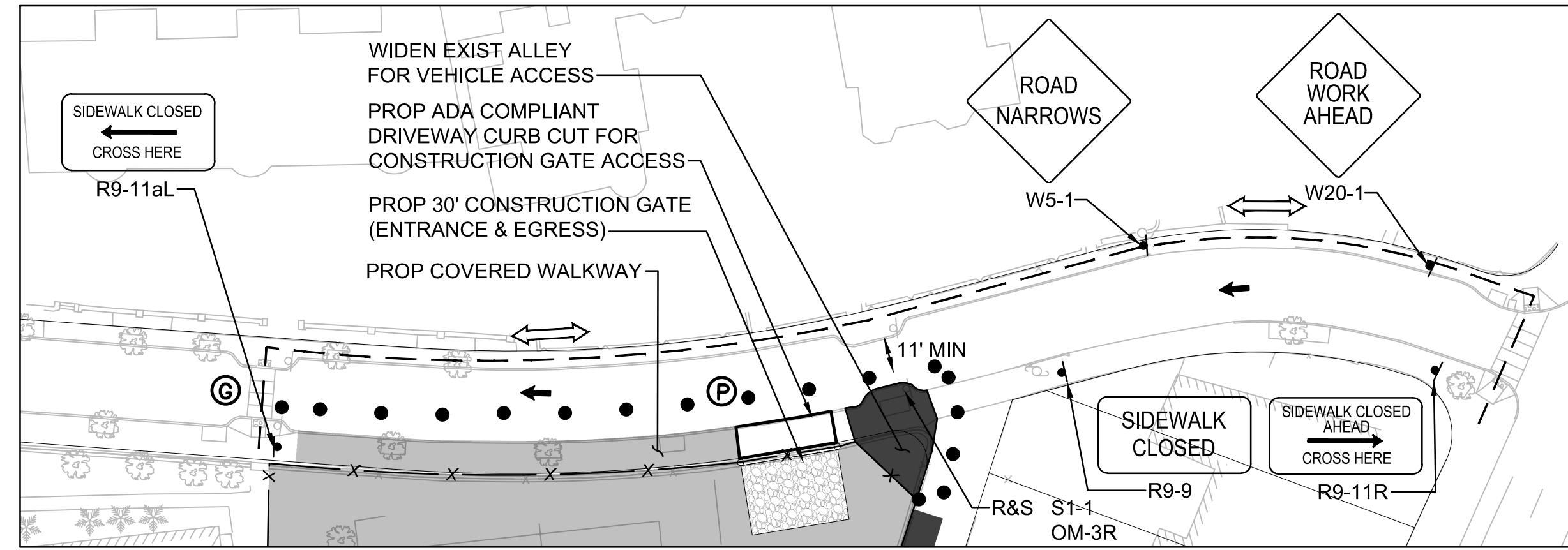
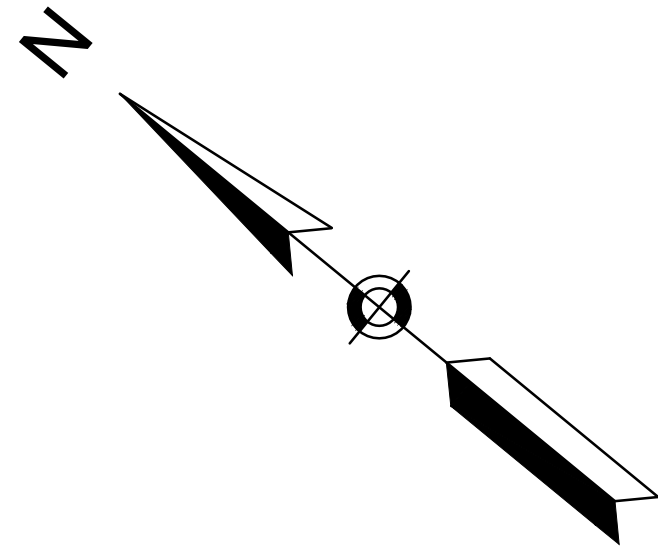
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**Phase 1 –  
 Site Enabling**

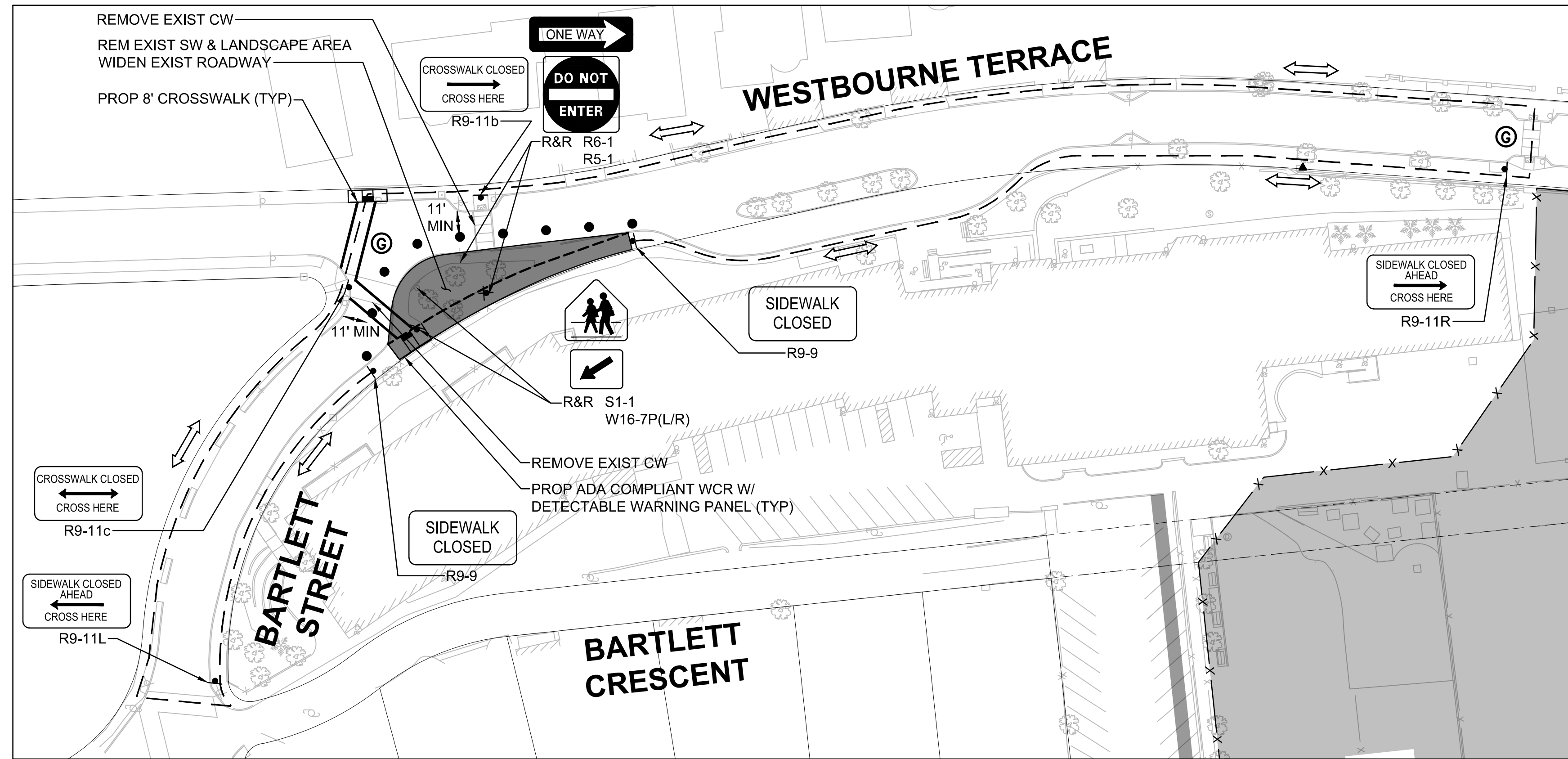
SHEET 5 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>5B</b>
CAD RSTOMP - PHASE 1 - ENAB	



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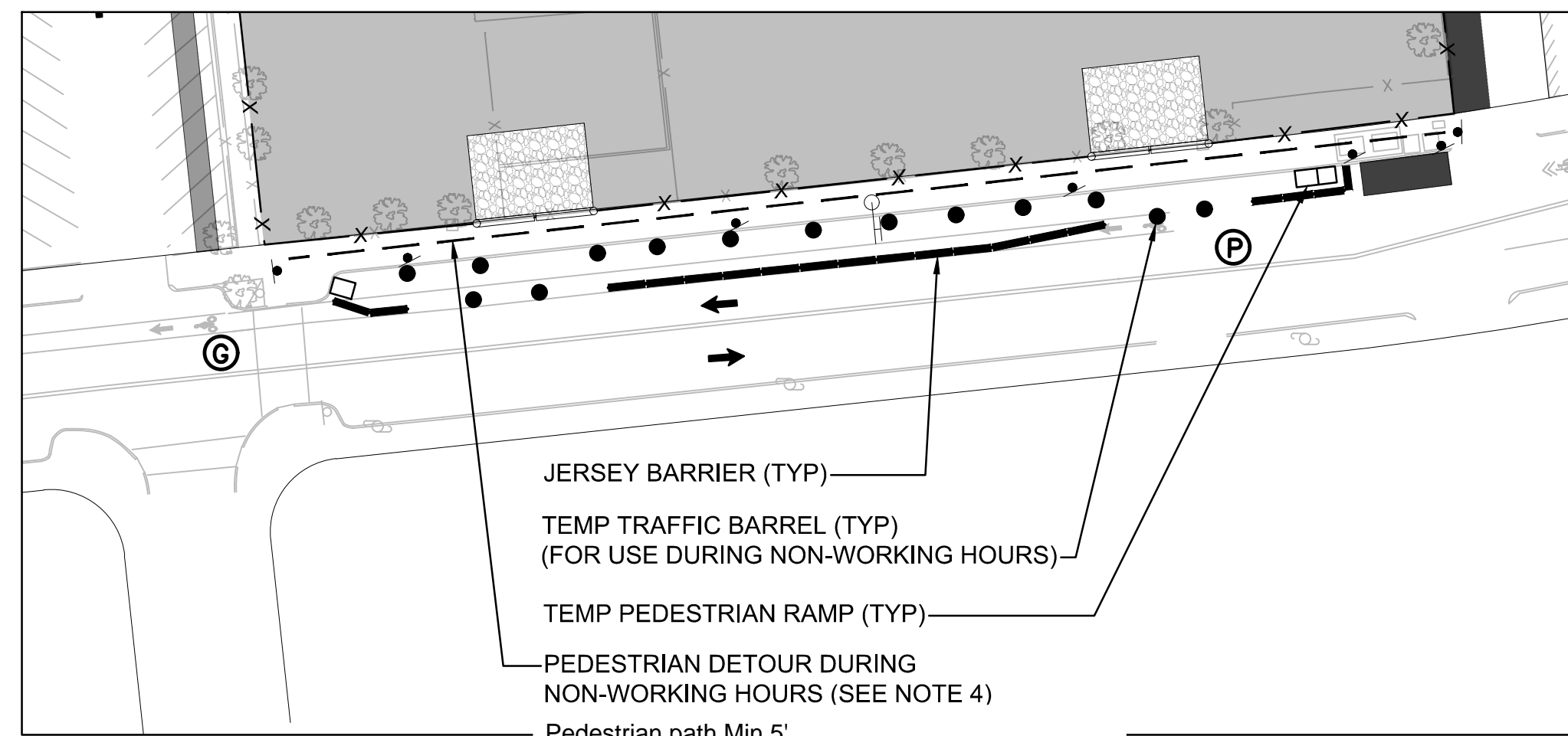
INSERT A - WESTBOURNE TERRACE  
PHASE 1B - SITE ENABLING & ALLEY WIDENING



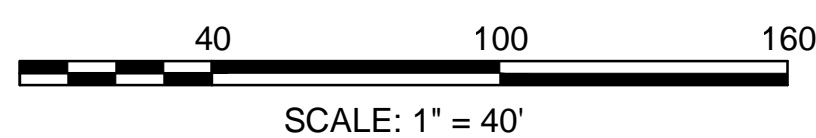
INSERT B - WESTBOURNE TERRACE AT BARTLETT STREET  
PHASE 1B - STREET WIDENING

**NOTE:**

1. SITE ENABLING INCLUDES INSTALLING THE CONSTRUCTION FENCE, ESTABLISHING TEMPORARY PLAY AREAS, SITE CLEARING & TREE REMOVAL, INSTALLING OFFICE TRAILER, INSTALLING COVERED WALKWAY, INSTALLING SIGNAGE, STARTING SUPPORT OF EXCAVATION, & WESTBOURNE TERRACE SIDEWALK REPAIR
2. WESTBOURNE TERRACE SIDEWALK RECONSTRUCTION TO BE COMPLETED BEFORE PHASE 1B - ALLEY WIDENING
3. WESTBOURNE TERRACE AT BARTLETT STREET TEMPORARY WHEELCHAIR RAMP TO BE CONSTRUCTED BEFORE PHASE 1B - STREET WIDENING
4. PEDESTRIAN ACCESS DURING NON-WORKING HOURS TO BE MAINTAINED ON EXISTING SIDEWALK, OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
5. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
6. NOISE ORDINANCE:  
MON - FRI FROM 7:00 AM - 7:00 PM  
SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
7. PHASE DURATION: JUNE 2021 - JULY 2021



INSERT C - WASHINGTON STREET PEDESTRIAN ACCESS  
DURING NON-WORKING HOURS



**LEGEND**

- x- CONSTRUCTION FENCE
- DIRECTION OF TRAFFIC FLOW
- REFLECTORIZED PLASTIC DRUM
- ⓐ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL

PROJECT TITLE

Michael Driscoll School  
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Plan

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NO.	DESCRIPTION	DATE

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Phase 1B -  
Site Enabling

SHEET 6 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>6</b>
CAD R1570MP - PHASE 1 - ENABLE	

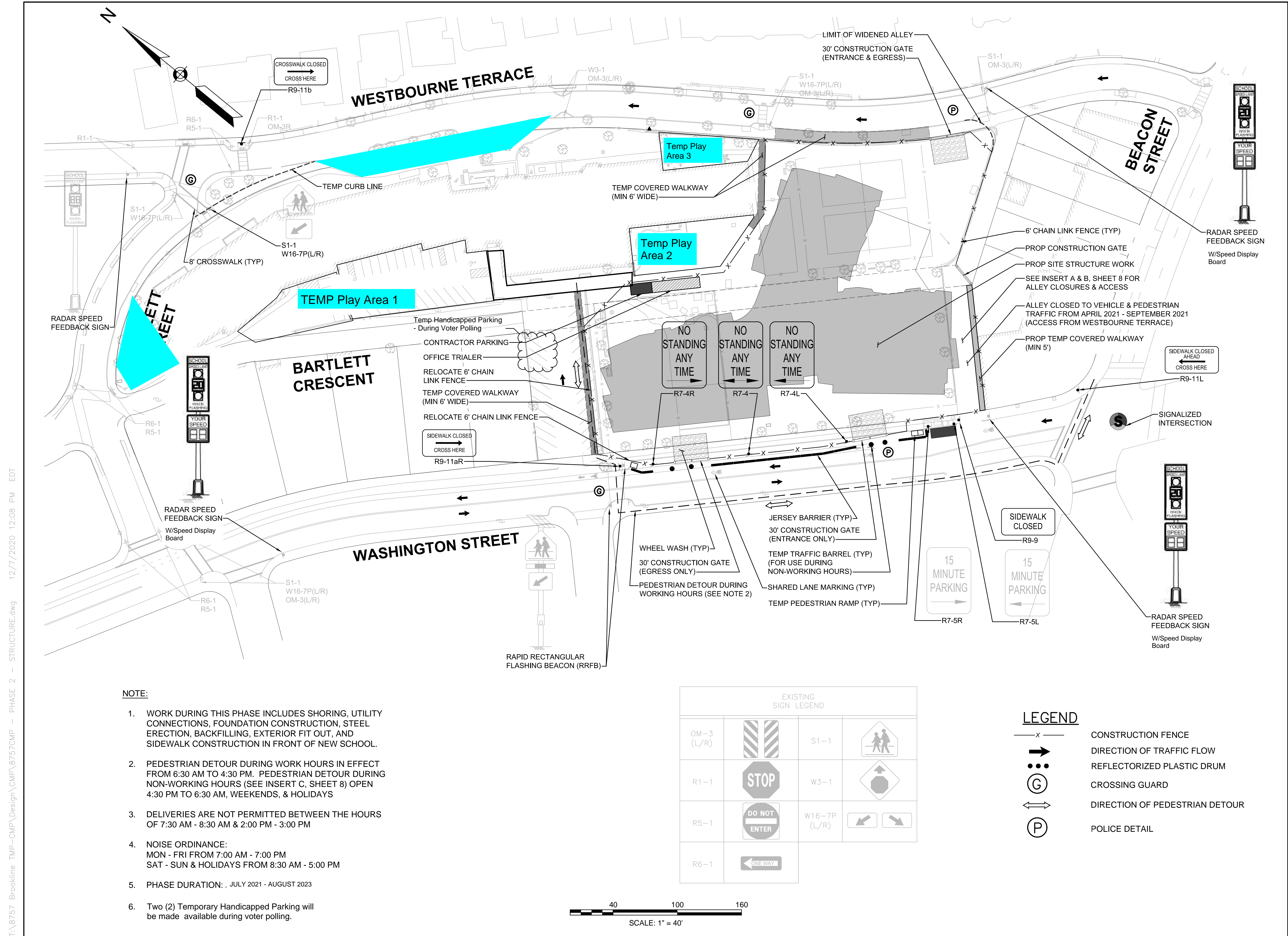
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STAMP	

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NO.	DESCRIPTION	DATE

DRAWING TITLE

**Phase 2 –  
 Building Construction**

SHEET 7 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>7</b>
CAD 8757CMP - PHASE 2 - STRUCTURE	



- NOTE:**
1. WORK DURING THIS PHASE INCLUDES SHORING, UTILITY CONNECTIONS, FOUNDATION CONSTRUCTION, STEEL ERECTION, BACKFILLING, EXTERIOR FIT OUT, AND SIDEWALK CONSTRUCTION IN FRONT OF NEW SCHOOL.
  2. PEDESTRIAN DETOUR DURING WORK HOURS IN EFFECT FROM 6:30 AM TO 4:30 PM. PEDESTRIAN DETOUR DURING NON-WORKING HOURS (SEE INSERT C, SHEET 8) OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
  3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
  4. NOISE ORDINANCE:  
 MON - FRI FROM 7:00 AM - 7:00 PM  
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
  5. PHASE DURATION: JULY 2021 - AUGUST 2023
  6. Two (2) Temporary Handicapped Parking will be made available during voter polling.

EXISTING SIGN LEGEND			
OM-3 (L/R)		S1-1	
R1-1		W3-1	
R5-1		W16-7P (L/R)	
R6-1			

**LEGEND**

- x- CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- ⋮ REFLECTORIZED PLASTIC DRUM
- ⓐ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL

SCALE: 1" = 40'

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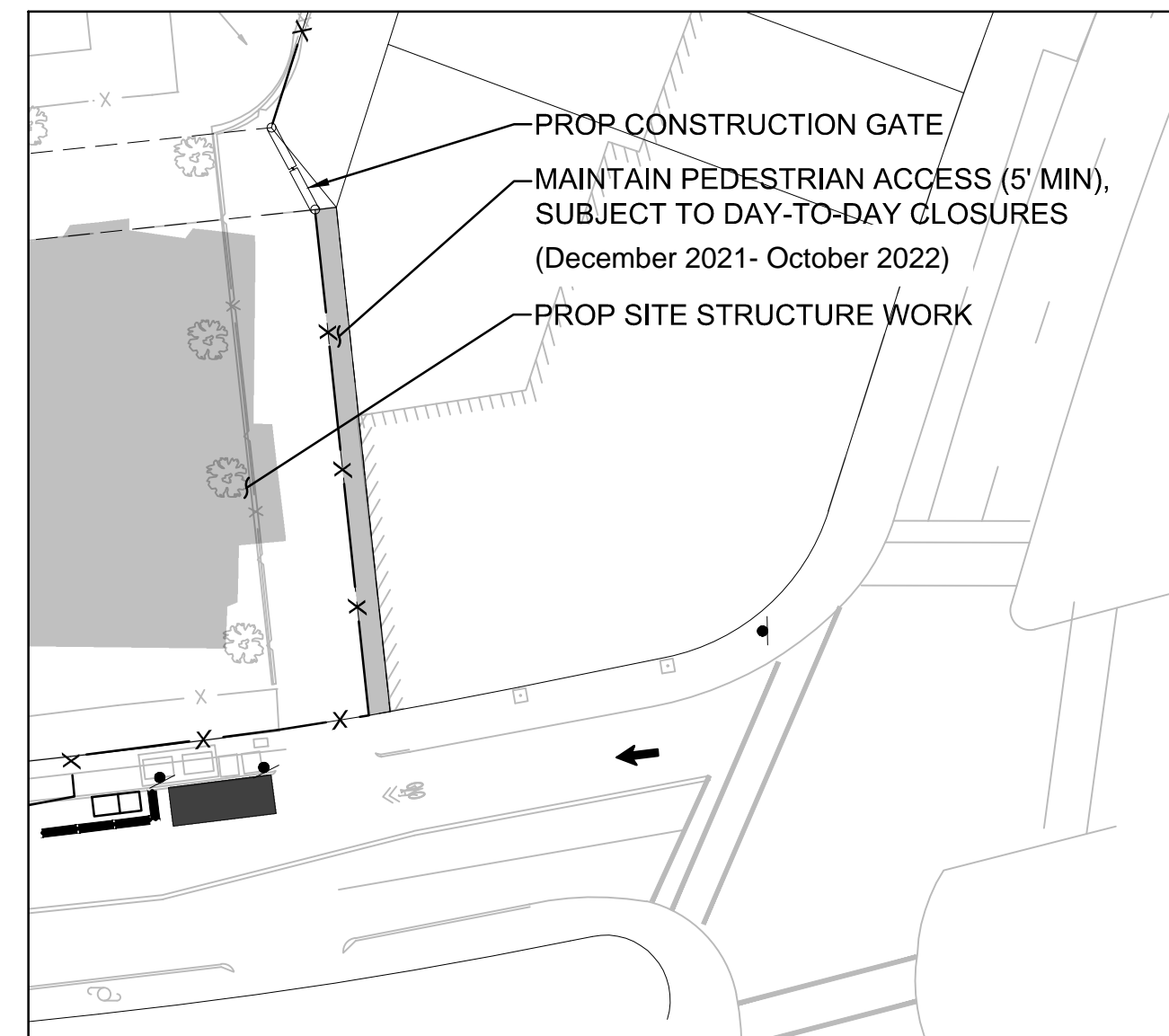
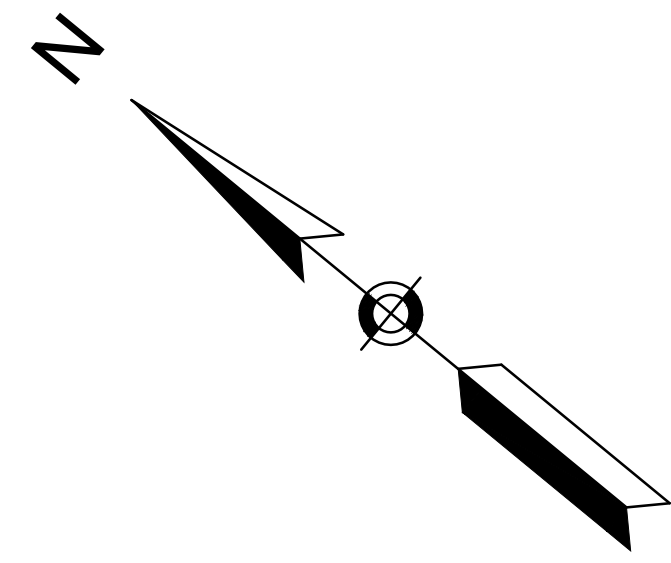
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DATE	DECEMBER 2020
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REVISIONS		
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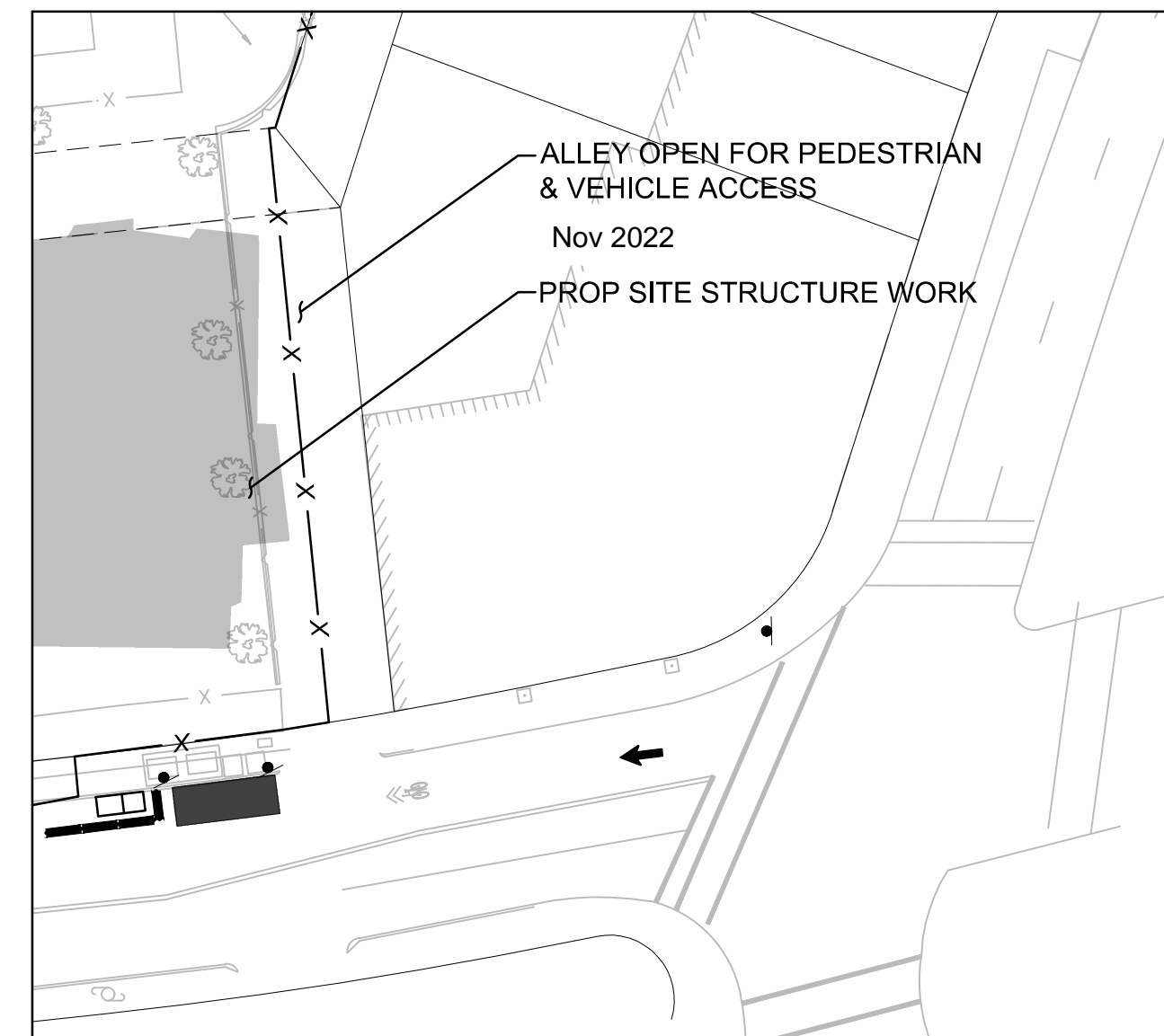
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**Phase 2 –  
 Building Construction**

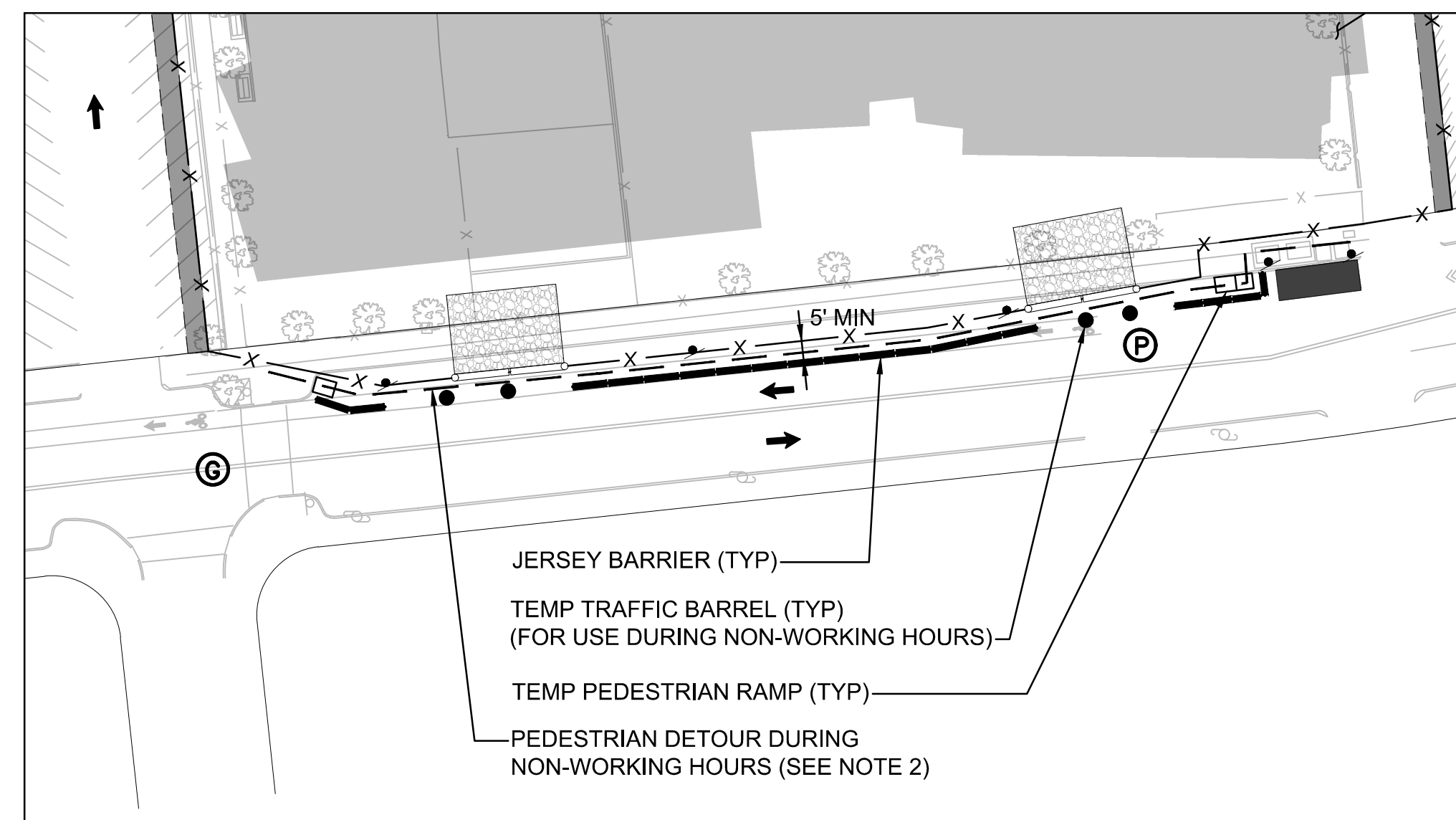
SHEET 8 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>8</b>
CAJ 8757CMP - PHASE 2 - STRUCTURE	



**INSERT A - ALLEY CLOSURE W/ PEDESTRIAN ACCESS**  
 December 2021 - October 2022



**INSERT B - ALLEY RE-OPENING**  
 November 2022 - July 2023



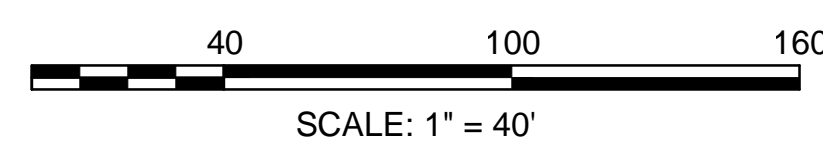
**INSERT C - WASHINGTON STREET PEDESTRIAN DETOUR  
 DURING NON-WORKING HOURS**

**NOTE:**

1. WORK DURING THIS PHASE INCLUDES SHORING, UTILITY CONNECTIONS, FOUNDATION CONSTRUCTION, STEEL ERECTION, BACKFILLING, EXTERIOR FIT OUT, AND SIDEWALK CONSTRUCTION IN FRONT OF NEW SCHOOL.
2. PEDESTRIAN DETOUR DURING NON-WORKING HOURS OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
4. NOISE ORDINANCE:  
 MON - FRI FROM 7:00 AM - 7:00 PM  
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
5. PHASE DURATION JULY 2021 - AUGUST 2023

**LEGEND**

- x — CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- ⋮ REFLECTORIZED PLASTIC DRUM
- ⓐ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL





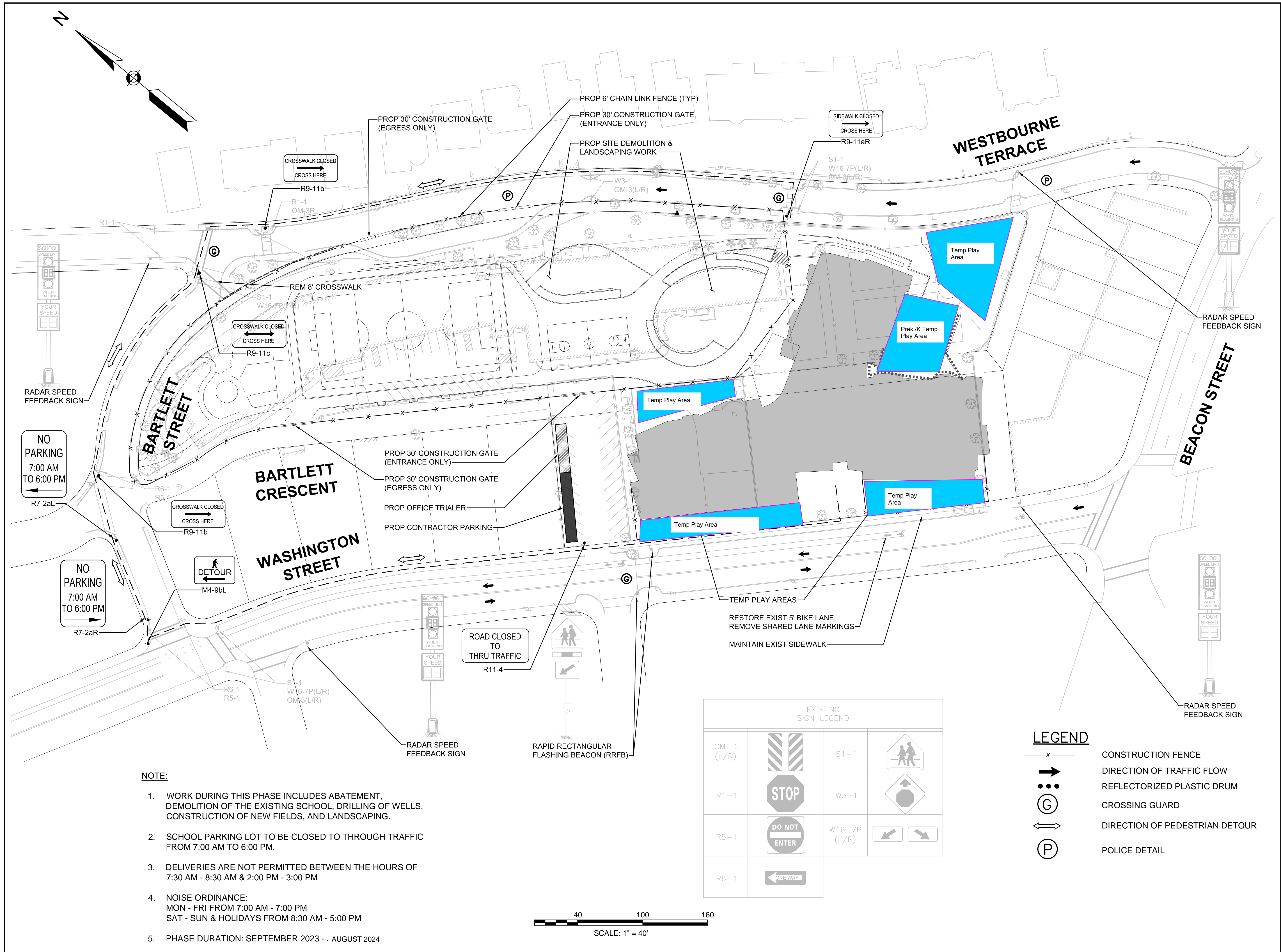
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DRAWN BY	MPP
CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

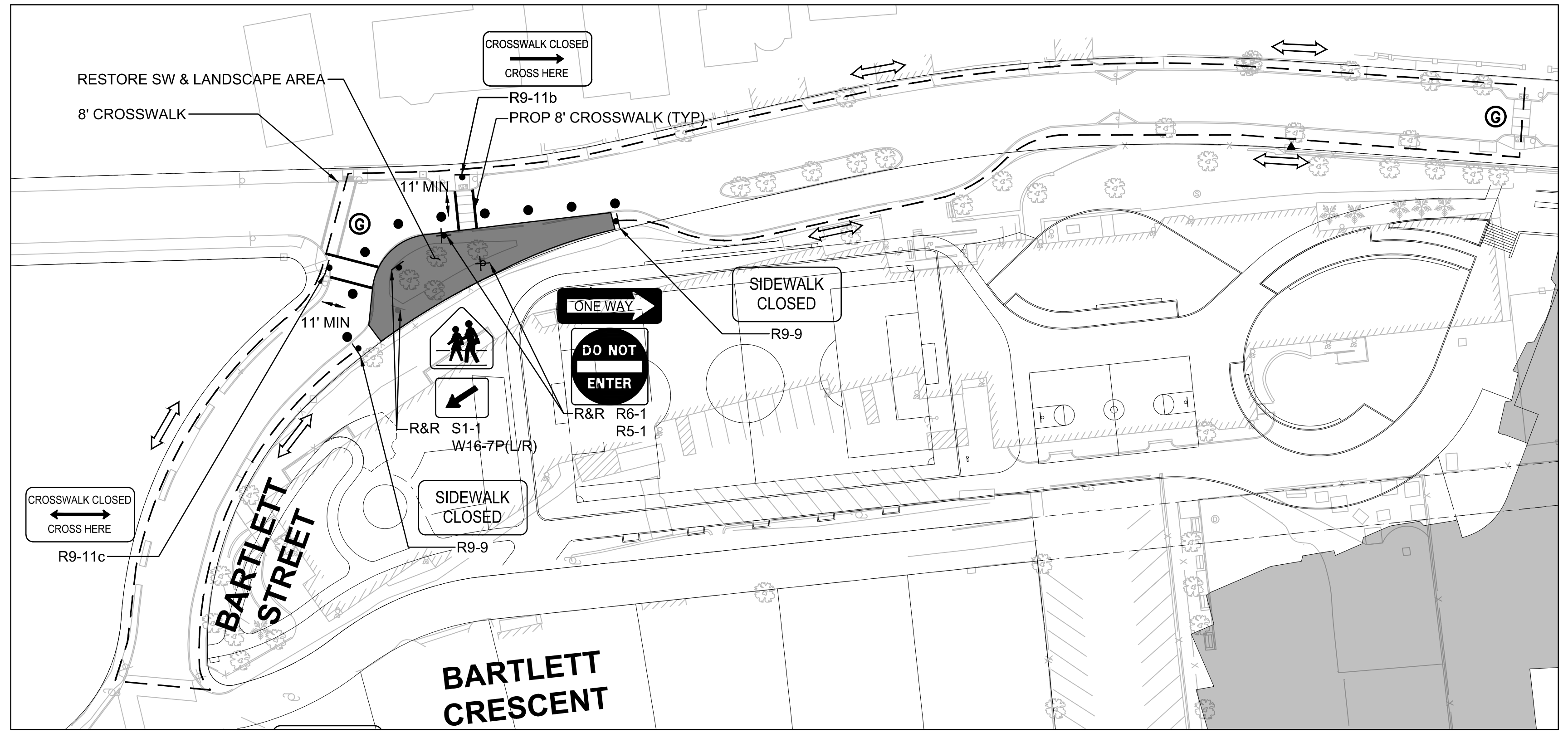
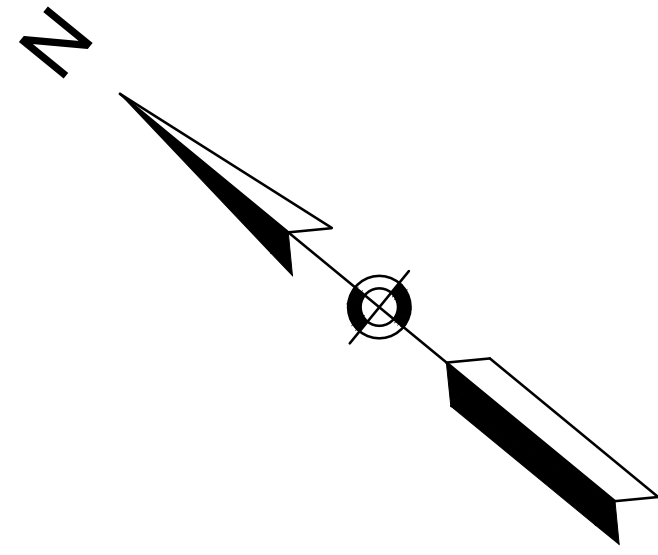
**Phase 3 –  
 Demolition, Field  
 Construction &  
 Landscaping**

SHEET 9 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>9</b>
CAD 8757CMP - PHASE 3	

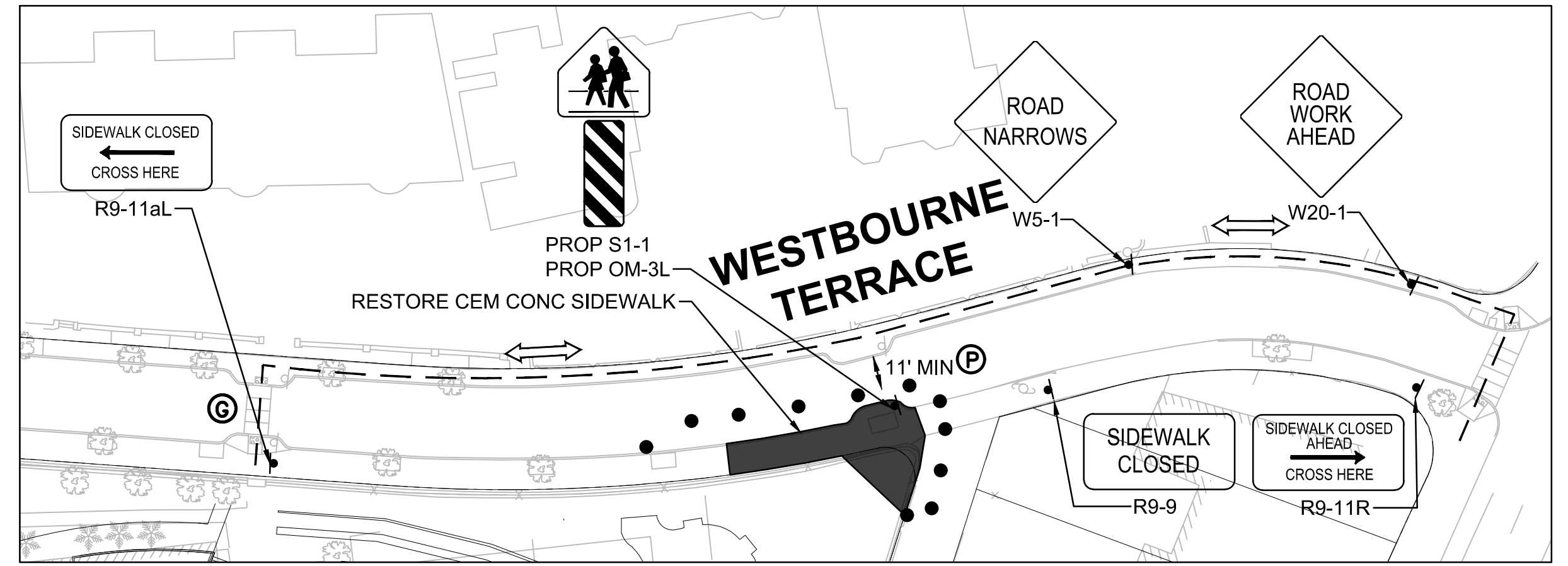


- NOTE:**
1. WORK DURING THIS PHASE INCLUDES ABATEMENT, DEMOLITION OF THE EXISTING SCHOOL, DRILLING OF WELLS, CONSTRUCTION OF NEW FIELDS, AND LANDSCAPING.
  2. SCHOOL PARKING LOT TO BE CLOSED TO THROUGH TRAFFIC FROM 7:00 AM TO 6:00 PM.
  3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
  4. NOISE ORDINANCE:  
 MON - FRI FROM 7:00 AM - 7:00 PM  
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
  5. PHASE DURATION: SEPTEMBER 2023 - AUGUST 2024

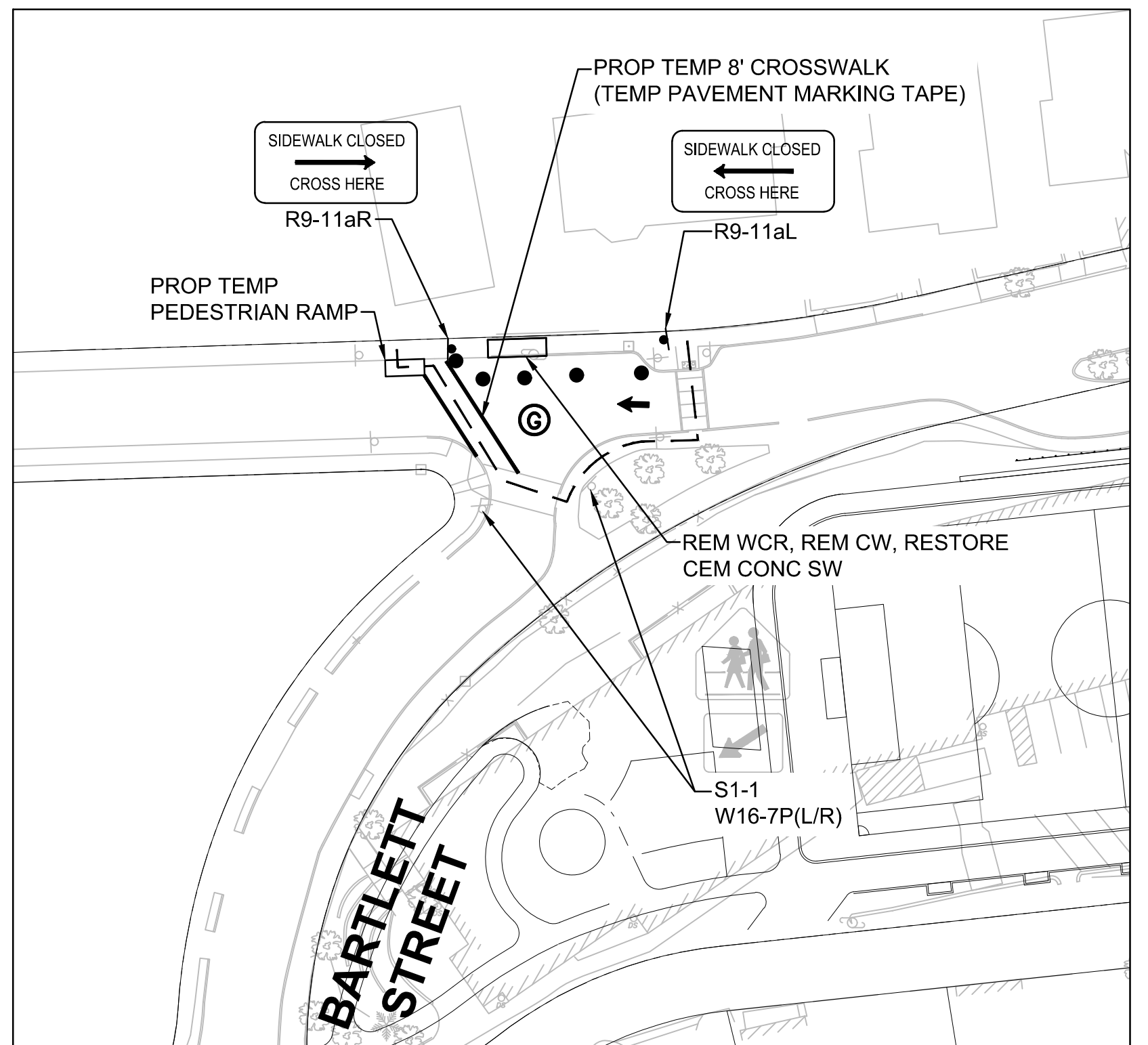
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INSERT A - WESTBOURNE TERRACE AT BARTLETT STREET  
PHASE 3B - REBUILD SIDEWALK & LANDSCAPE AREA



INSERT B - WESTBOURNE TERRACE  
PHASE 3B - REBUILD SIDEWALK



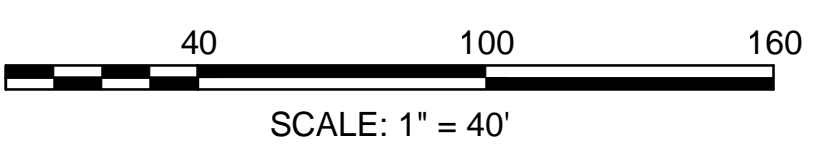
INSERT C - WESTBOURNE TERRACE AT BARTLETT STREET  
PHASE 3C - REMOVE TEMPORARY WHEELCHAIR RAMP

**NOTE:**

1. WORK DURING THIS PHASE INCLUDES ABATEMENT, DEMOLITION OF THE EXISTING SCHOOL, DRILLING OF WELLS, CONSTRUCTION OF NEW FIELDS, AND LANDSCAPING.
2. SCHOOL PARKING LOT TO BE CLOSED TO THROUGH TRAFFIC FROM 7:00 AM TO 6:00 PM.
3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
4. NOISE ORDINANCE:  
MON - FRI FROM 7:00 AM - 7:00 PM  
SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
5. PHASE DURATION: SEPTEMBER 2023 - AUGUST 2024

**LEGEND**

- x- CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- REFLECTORIZED PLASTIC DRUM
- ⓐ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL



PROJECT TITLE  
**Michael Driscoll School  
Construction Management  
Plan**

Brookline,  
Massachusetts

PREPARED FOR  
**Gilbane Building  
Company**

Boston,  
Massachusetts



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SCALE	AS NOTED
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NO.	DESCRIPTION	DATE

DRAWING TITLE

**Phase 3B & 3C –  
Demolition, Field  
Construction &  
Landscaping**

SHEET 10 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>10</b>
CAD 8757CMP - PHASE 3	

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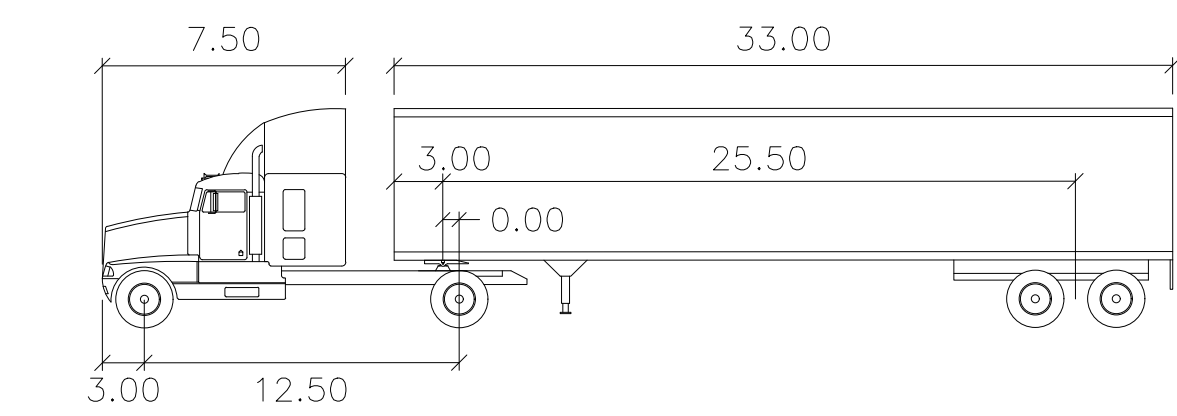
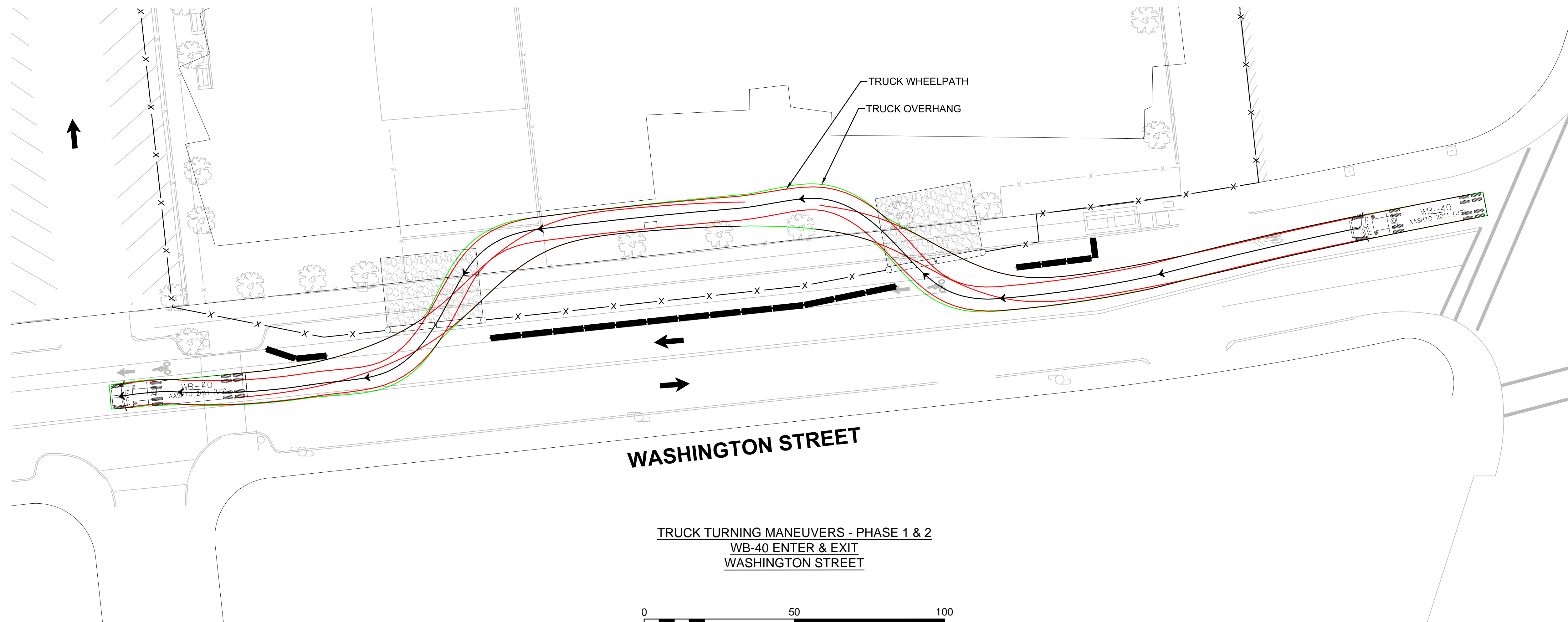
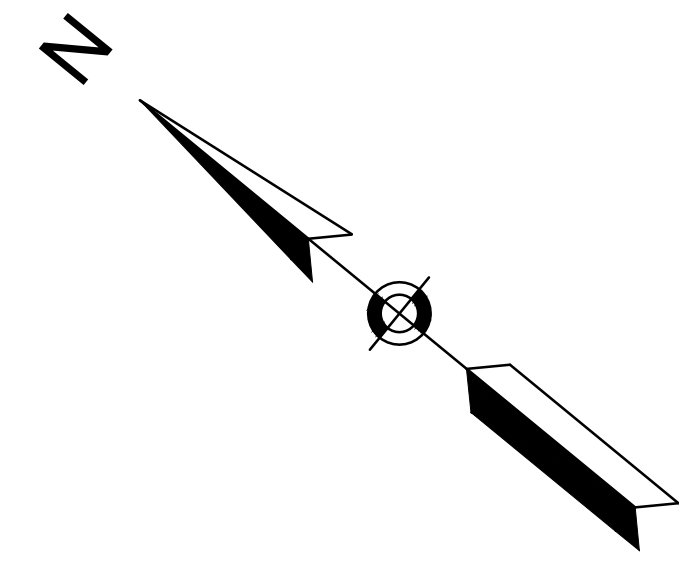
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DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

**Truck Turning  
 Maneuvers**

SHEET 11 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>11</b>
CAD 8757TTR1	

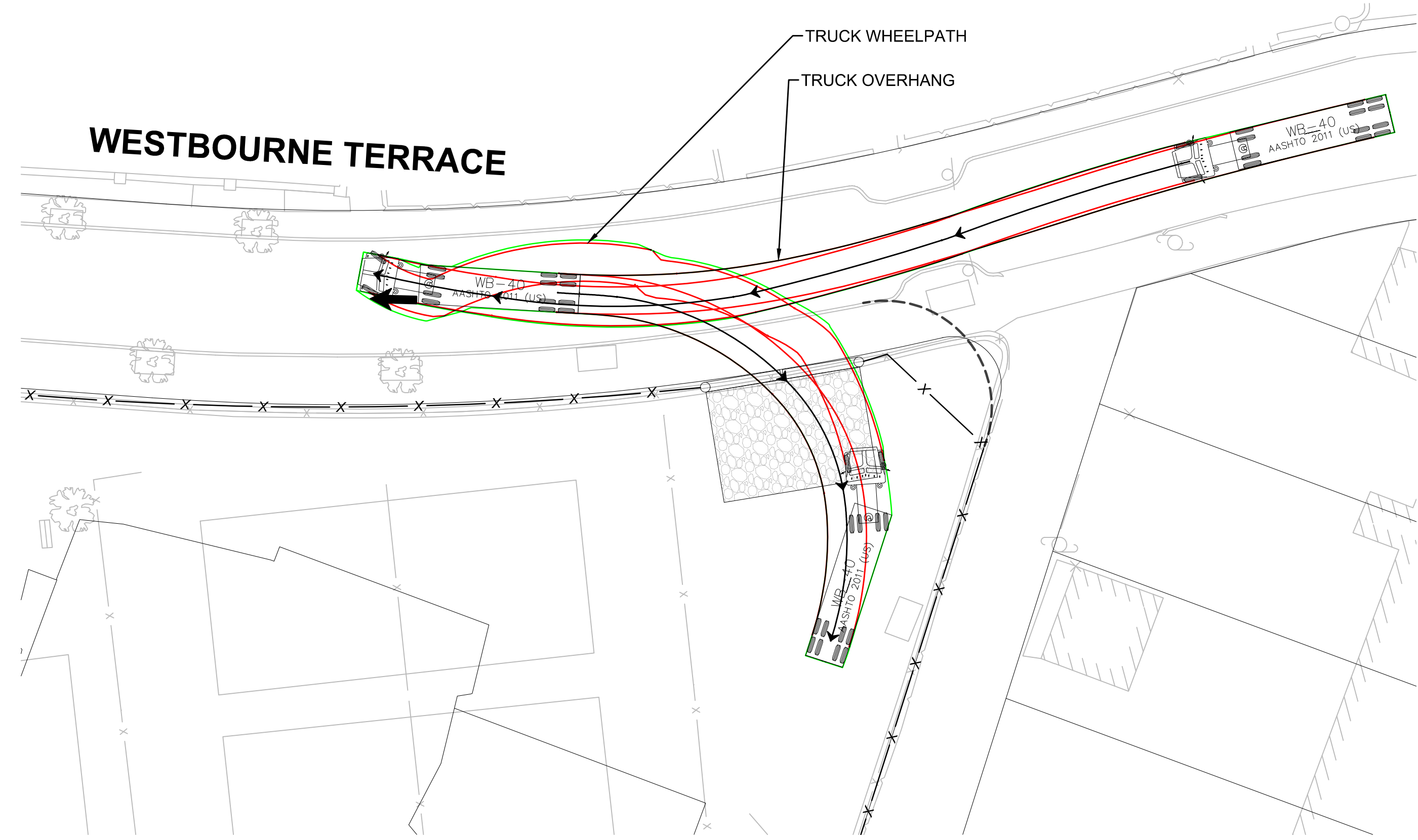
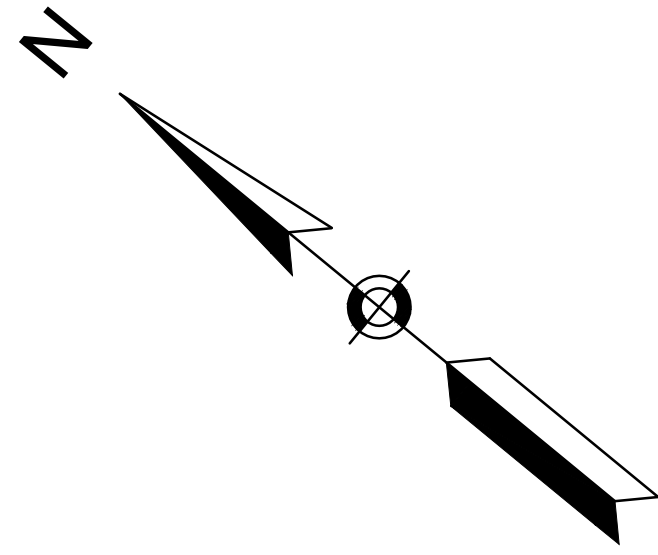


WB-40

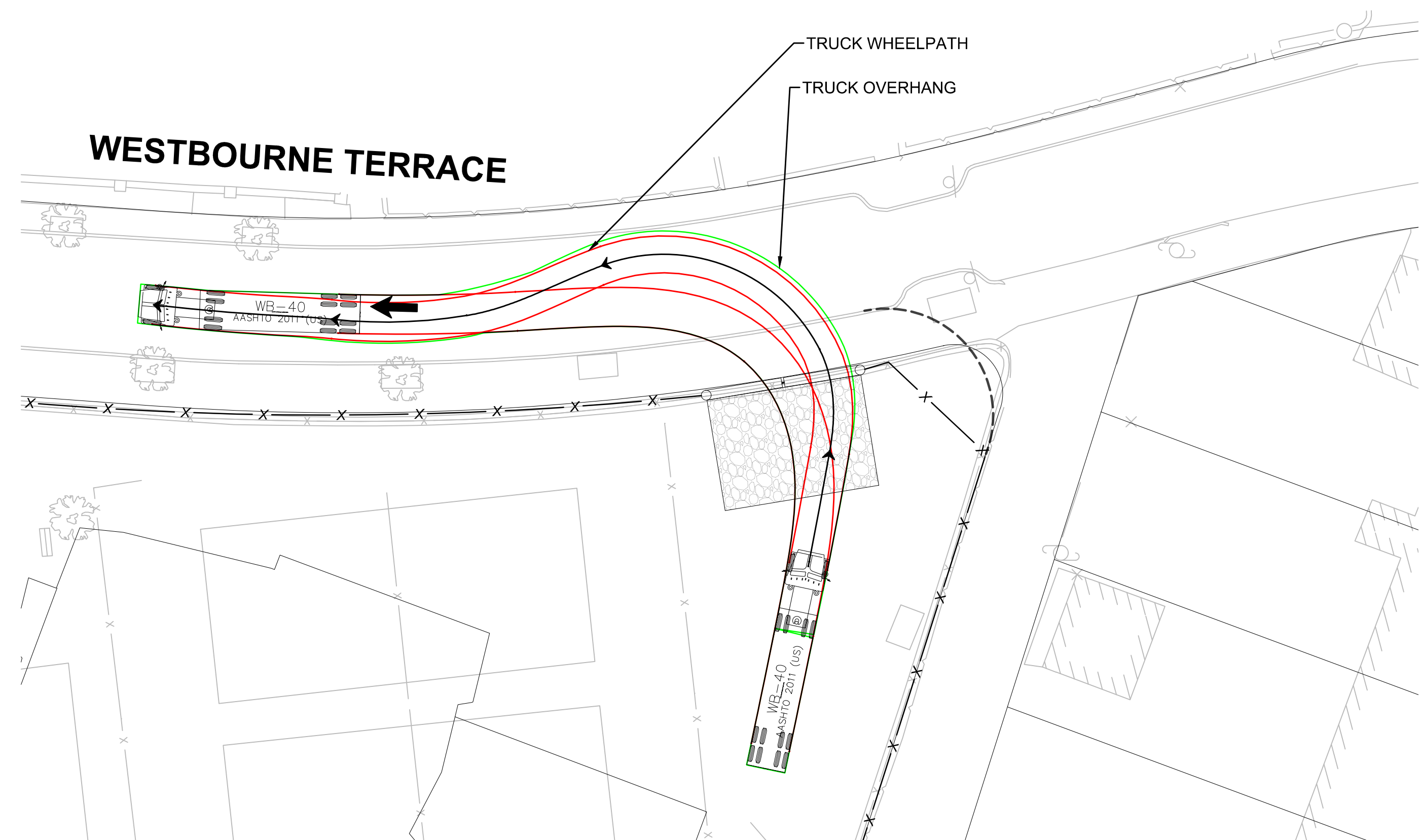
	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

**NOTE:**

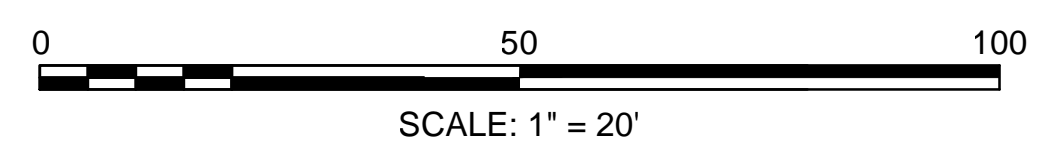
1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM



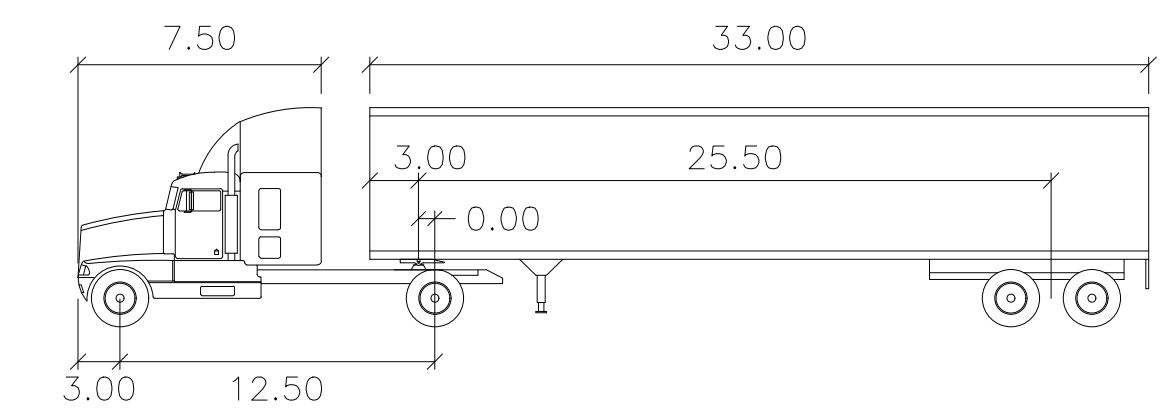
TRUCK TURNING MANEUVERS - PHASE 1 & 2  
WB-40 ENTER  
WESTBOURNE TERRACE



TRUCK TURNING MANEUVERS - PHASE 1 & 2  
WB-40 EXIT  
WESTBOURNE TERRACE



- NOTE:**
- SEE SHEET 16 FOR TRUCK ROUTING PLAN
  - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM



WB-40

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

PROJECT TITLE  
Michael Driscoll School  
Construction Management  
Plan

Brookline,  
Massachusetts

PREPARED FOR  
Gilbane Building  
Company

Boston,  
Massachusetts



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SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Truck Turning  
Maneuvers

SHEET 12 OF 17	DRAWING NUMBER
JOB NO. 8757	12
CAD 8757TTR1	

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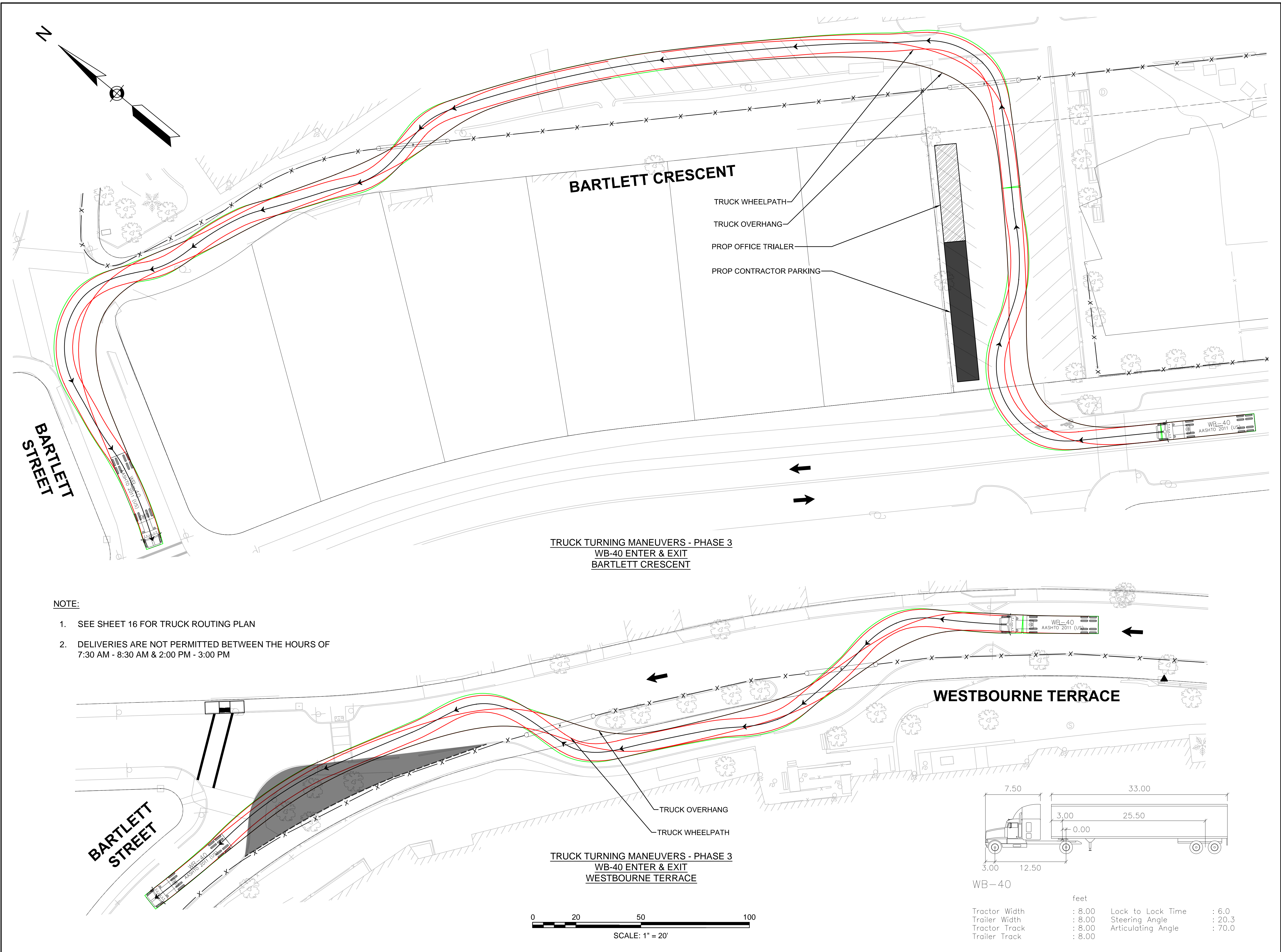
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DRAWN BY	MPP
CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

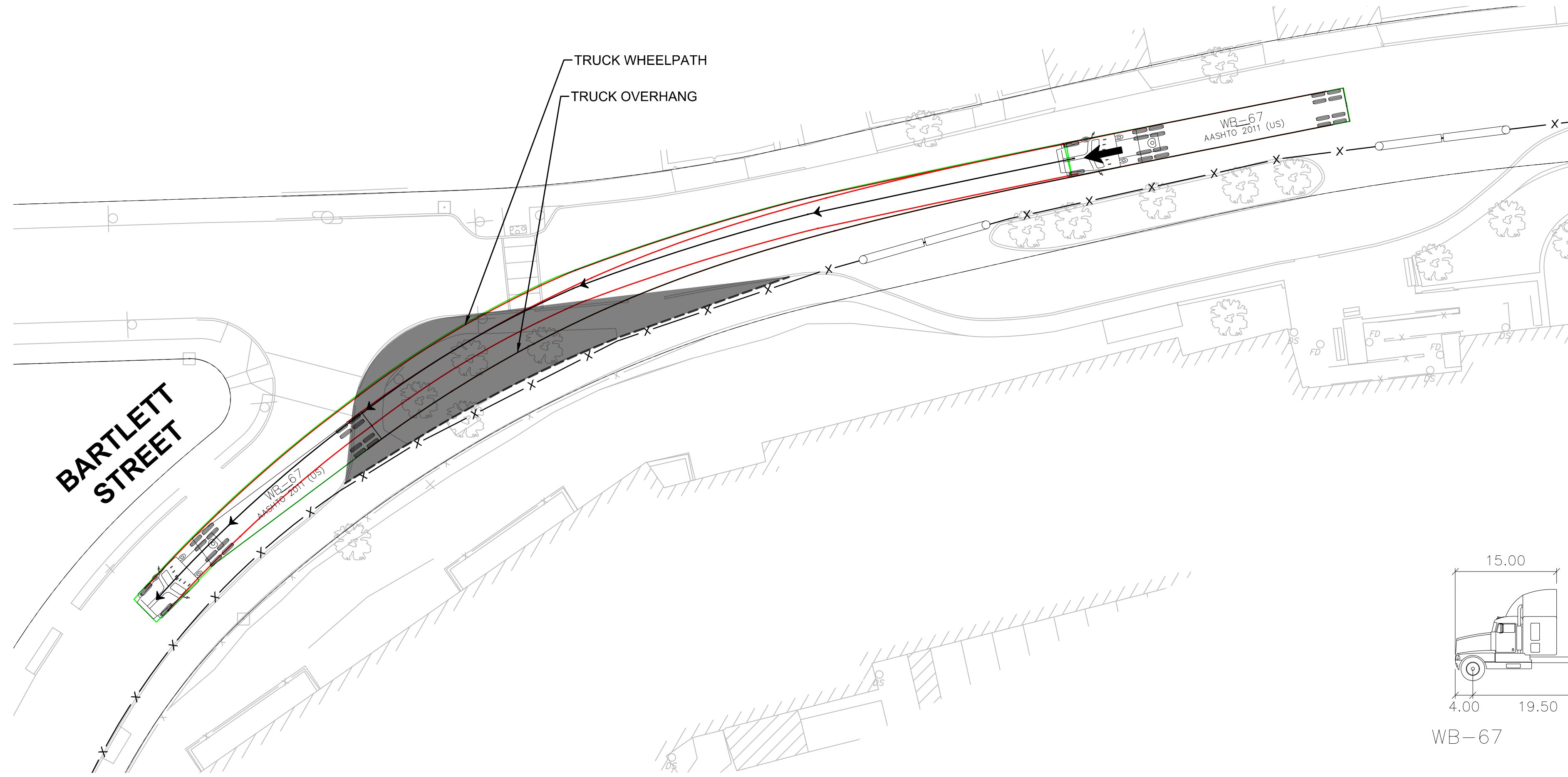
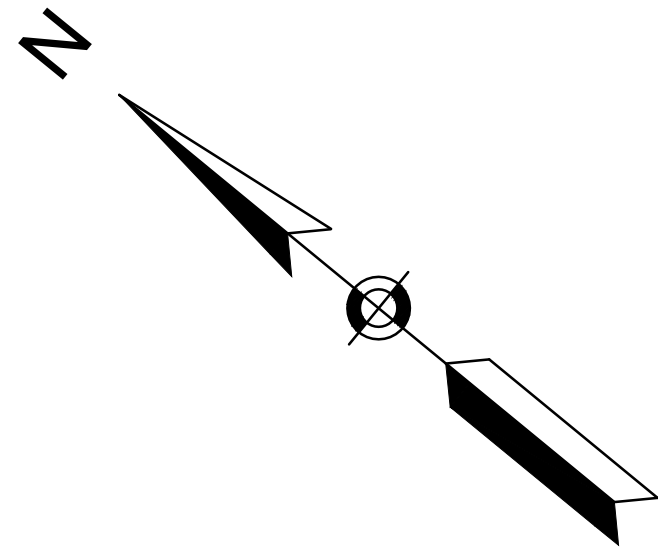
DRAWING TITLE

**Truck Turning  
 Maneuvers**

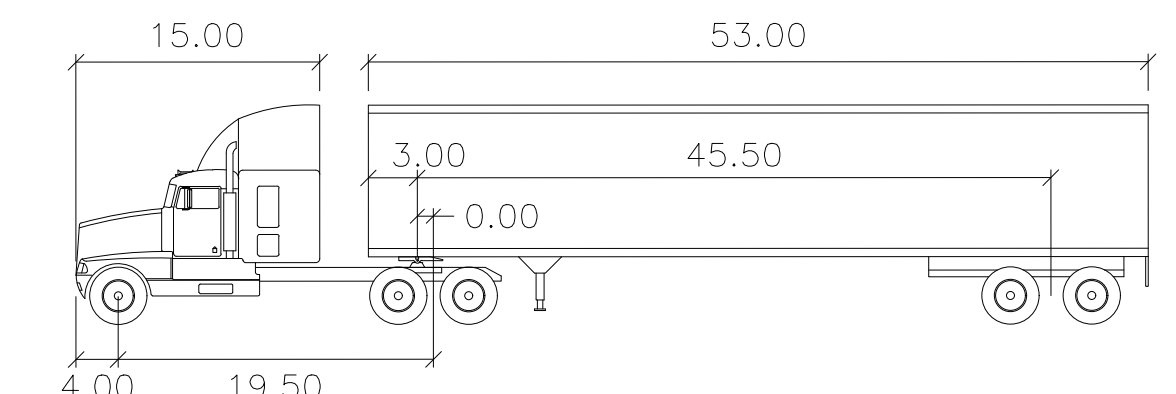
SHEET 13 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>13</b>
CAD 8757TR2	



- NOTE:**
- SEE SHEET 16 FOR TRUCK ROUTING PLAN
  - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

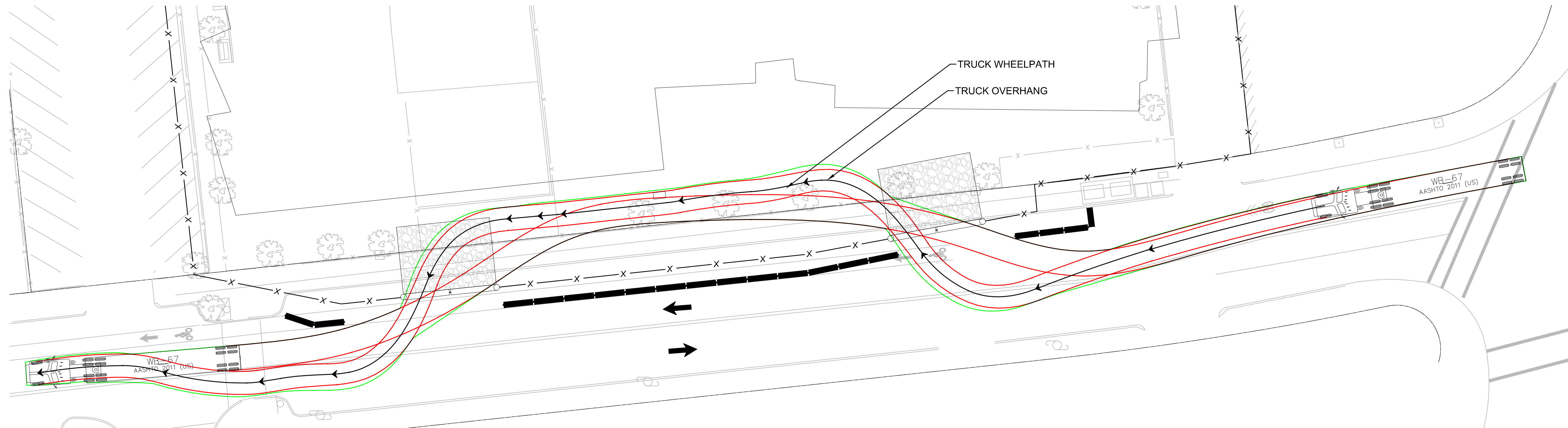


**TRUCK TURNING MANEUVERS - PHASE 1, 2 & 3**  
**WB-67 EXIT**  
**WESTBOURNE TERRACE & BARTLETT STREET**

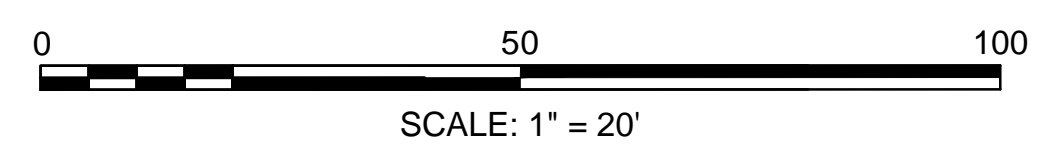


WB-67

	feet	
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 28.4
Tractor Track	: 8.00	Articulating Angle : 75.0
Trailer Track	: 8.50	



**TRUCK TURNING MANEUVERS - PHASE 1 & 2**  
**WB-67 ENTER & EXIT**  
**WASHINGTON STREET**



- NOTE:**
1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
  2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

PROJECT TITLE  
**Michael Driscoll School**  
**Construction Management**  
**Plan**

**Brookline,**  
**Massachusetts**

PREPARED FOR  
**Gilbane Building**  
**Company**

**Boston,**  
**Massachusetts**



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DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

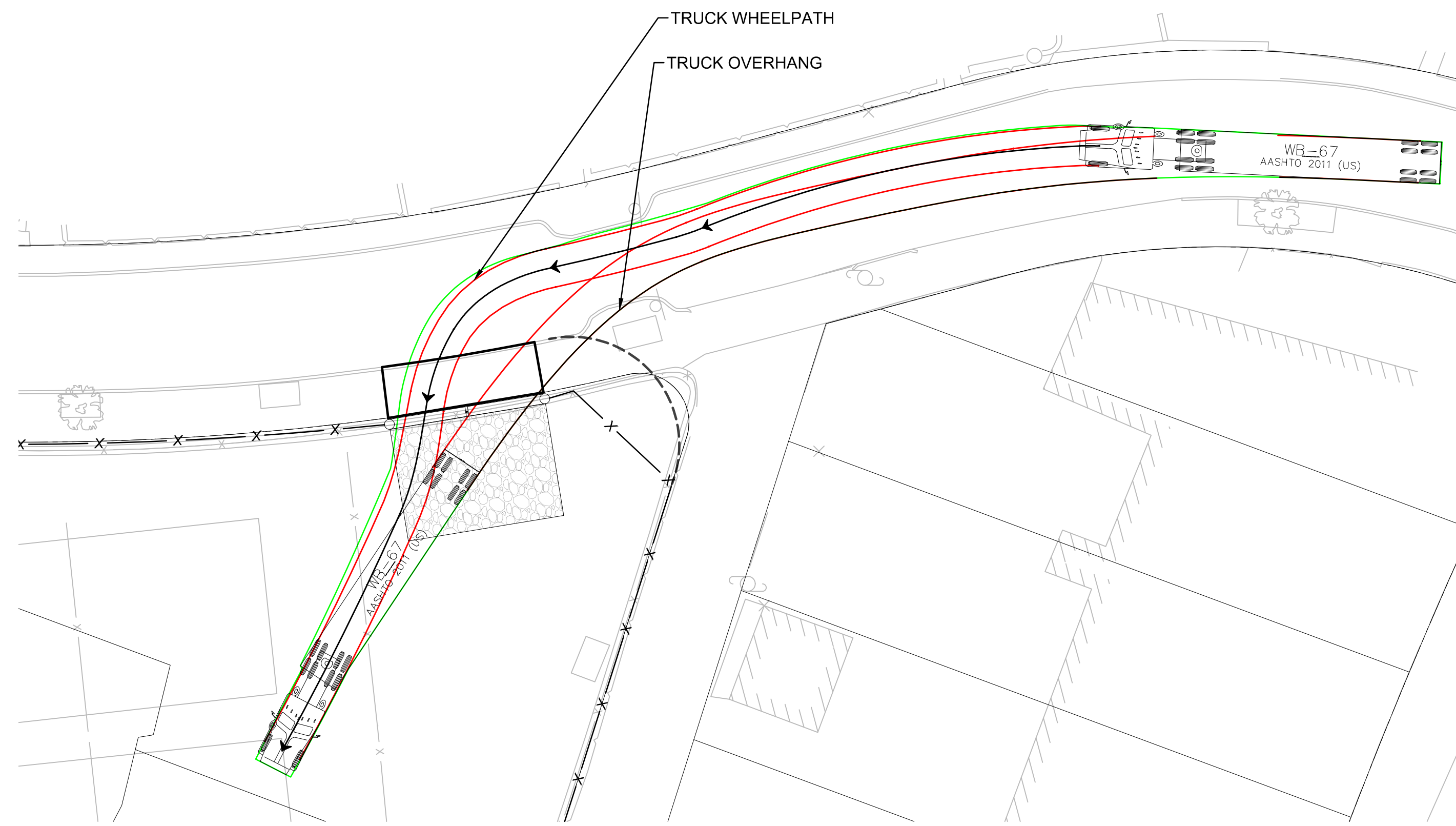
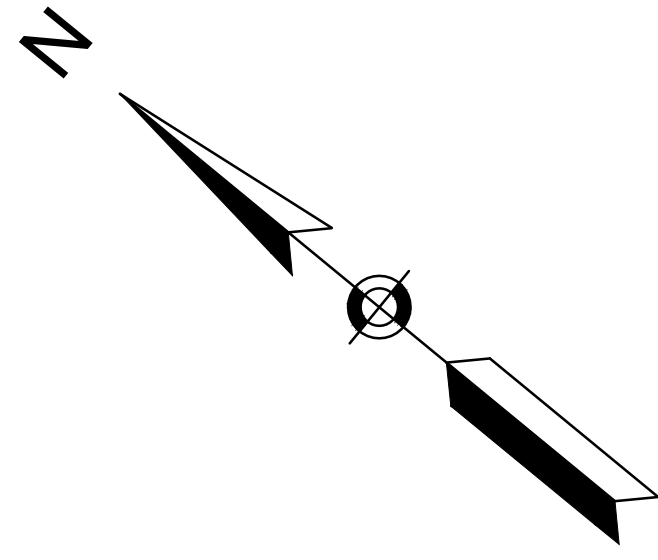
REVISIONS		
NO.	DESCRIPTION	DATE

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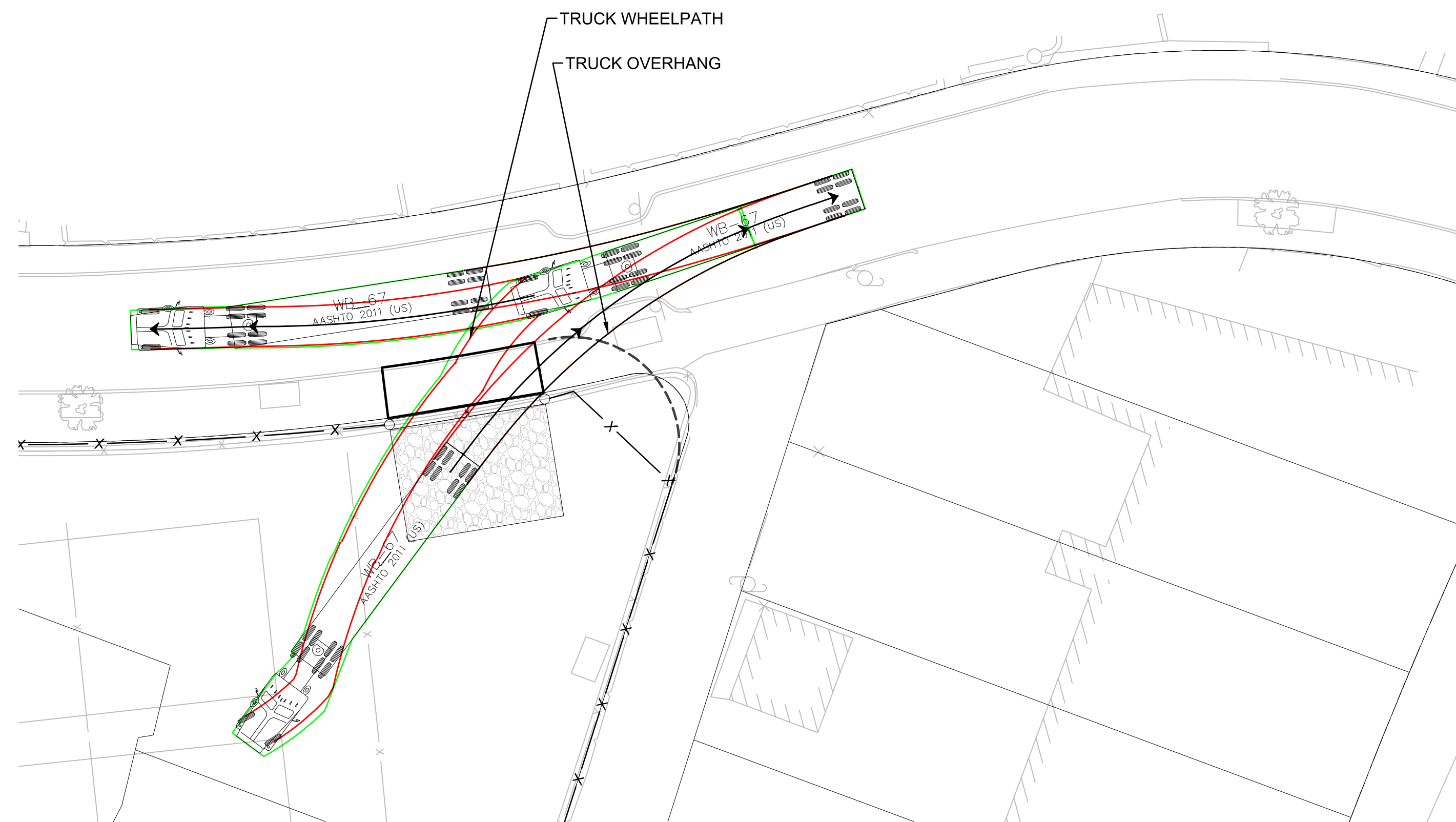
**Truck Turning**  
**Maneuvers**

SHEET 14 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>14</b>
CAD 8757TR3	

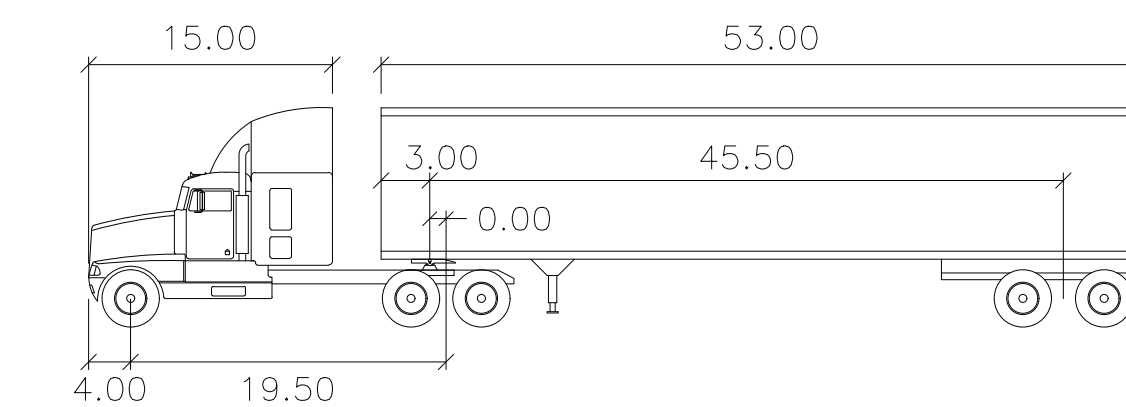
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TRUCK TURNING MANEUVERS - PHASE 1 & 2  
WB-67 ENTER  
WESTBOURNE TERRACE



TRUCK TURNING MANEUVERS - PHASE 1 & 2  
WB-67 ENTER  
WESTBOURNE TERRACE

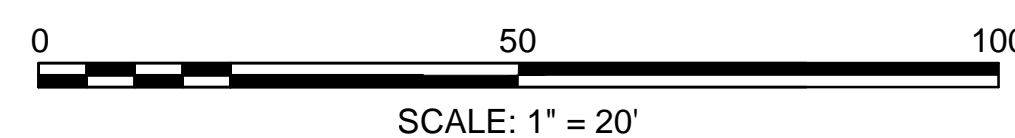


WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

**NOTE:**

1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM



PROJECT TITLE

Michael Driscoll School  
Construction Management  
Plan

Brookline,  
Massachusetts

PREPARED FOR

Gilbane Building  
Company

Boston,  
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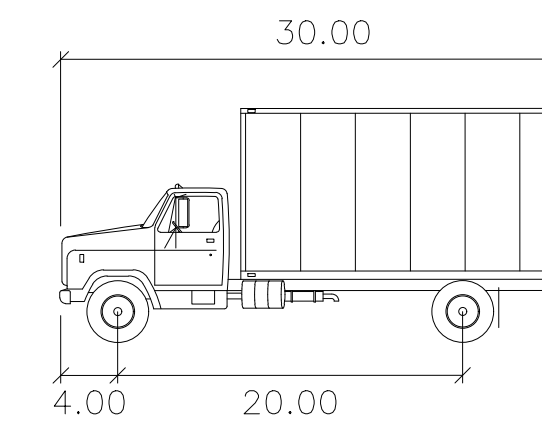
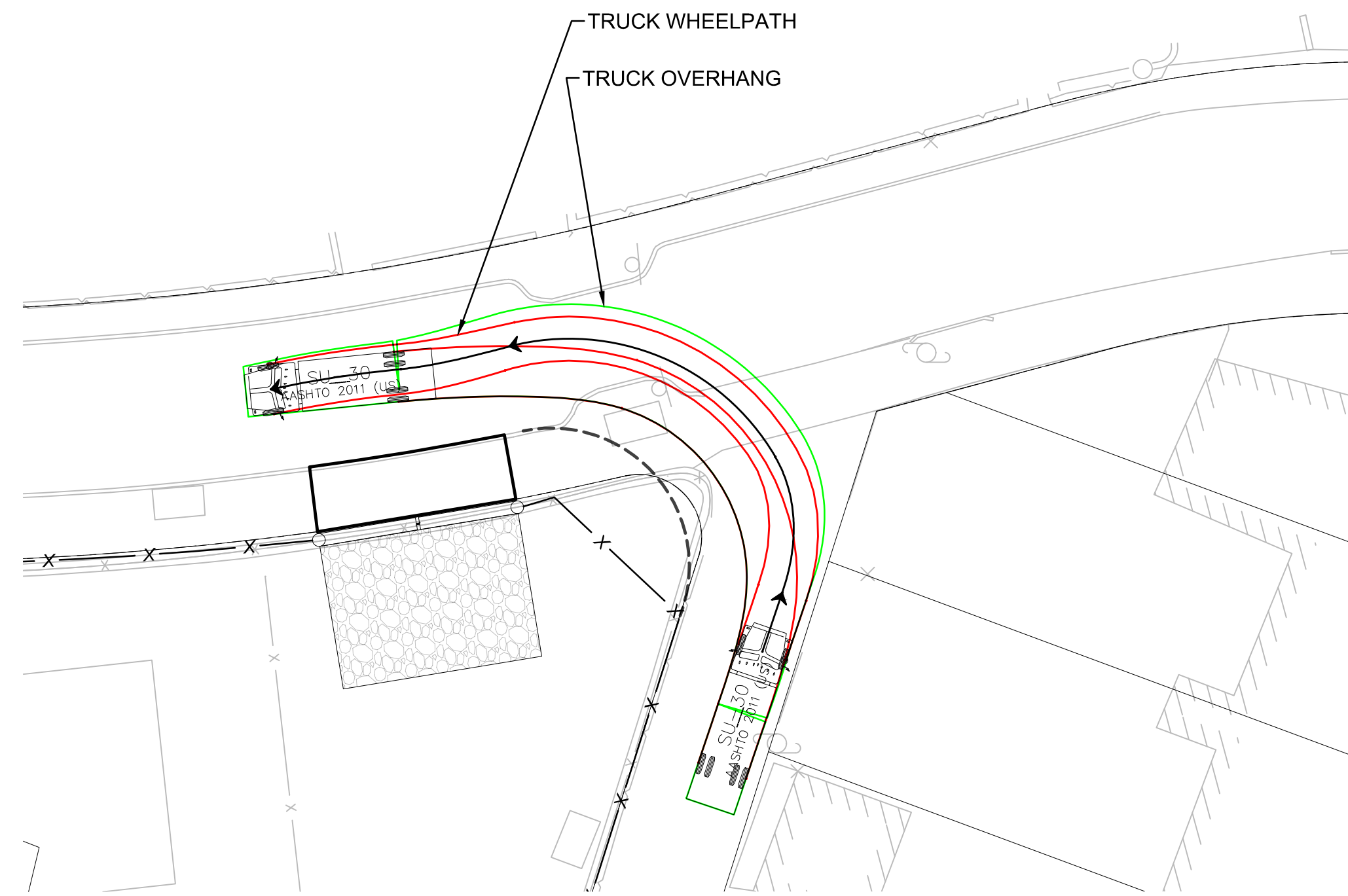
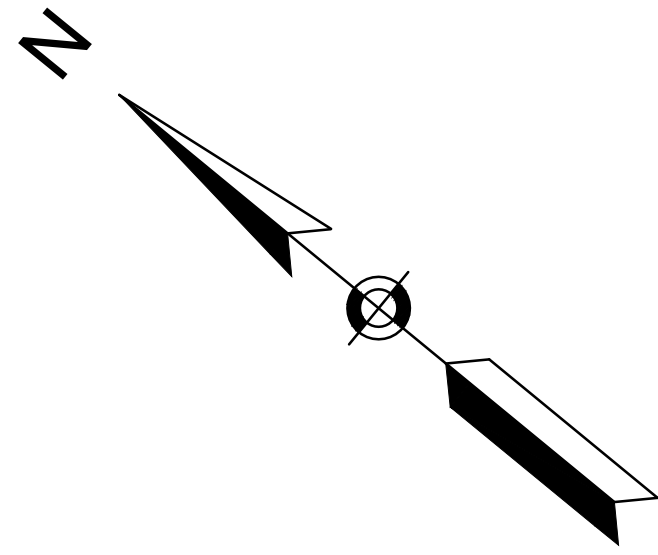
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SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

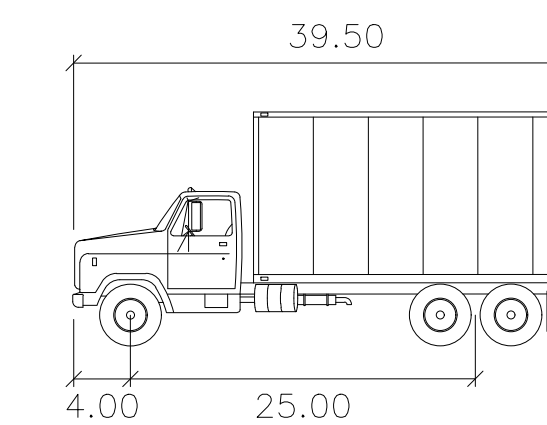
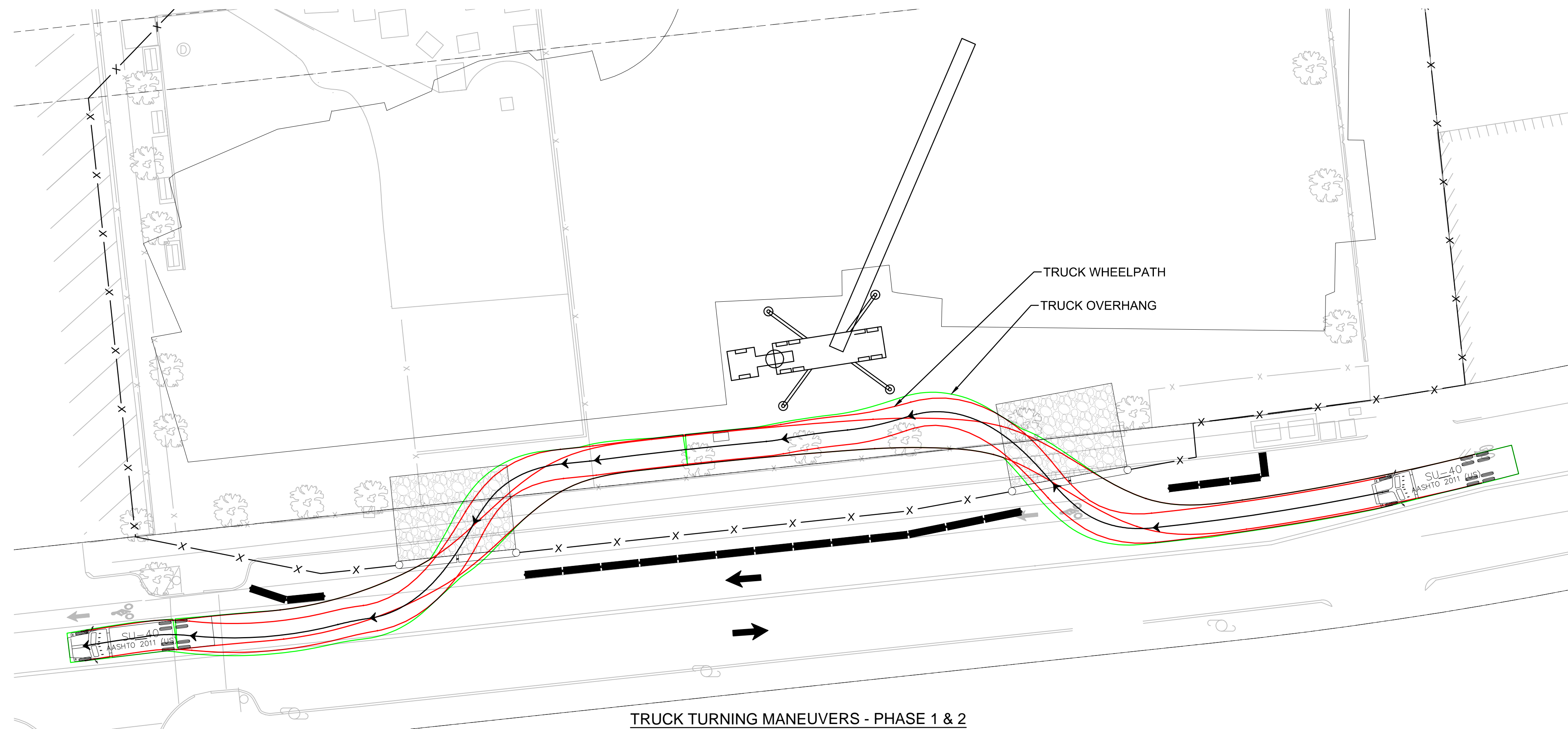
Truck Turning  
Maneuvers

SHEET 15 OF 17	DRAWING NUMBER
JOB NO. 8757	15
CAD 8757TR3	



SU-30  
 Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.8

TRUCK TURNING MANEUVERS - PHASE 1 & 2  
 SU-30 EXIT  
 WESTBOURNE TERRACE ALLEY



SU-40  
 Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.8

TRUCK TURNING MANEUVERS - PHASE 1 & 2  
 SU-40 ENTER & EXIT  
 WASHINGTON STREET

0 50 100  
 SCALE: 1" = 20'

**NOTE:**

1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

PROJECT TITLE

Michael Driscoll School  
 Construction Management  
 Plan

Brookline,  
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Gilbane Building  
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Boston,  
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SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Truck Turning  
 Maneuvers

SHEET 16 OF 17	DRAWING NUMBER
JOB NO. 8757	16
CAD 87571TR3	





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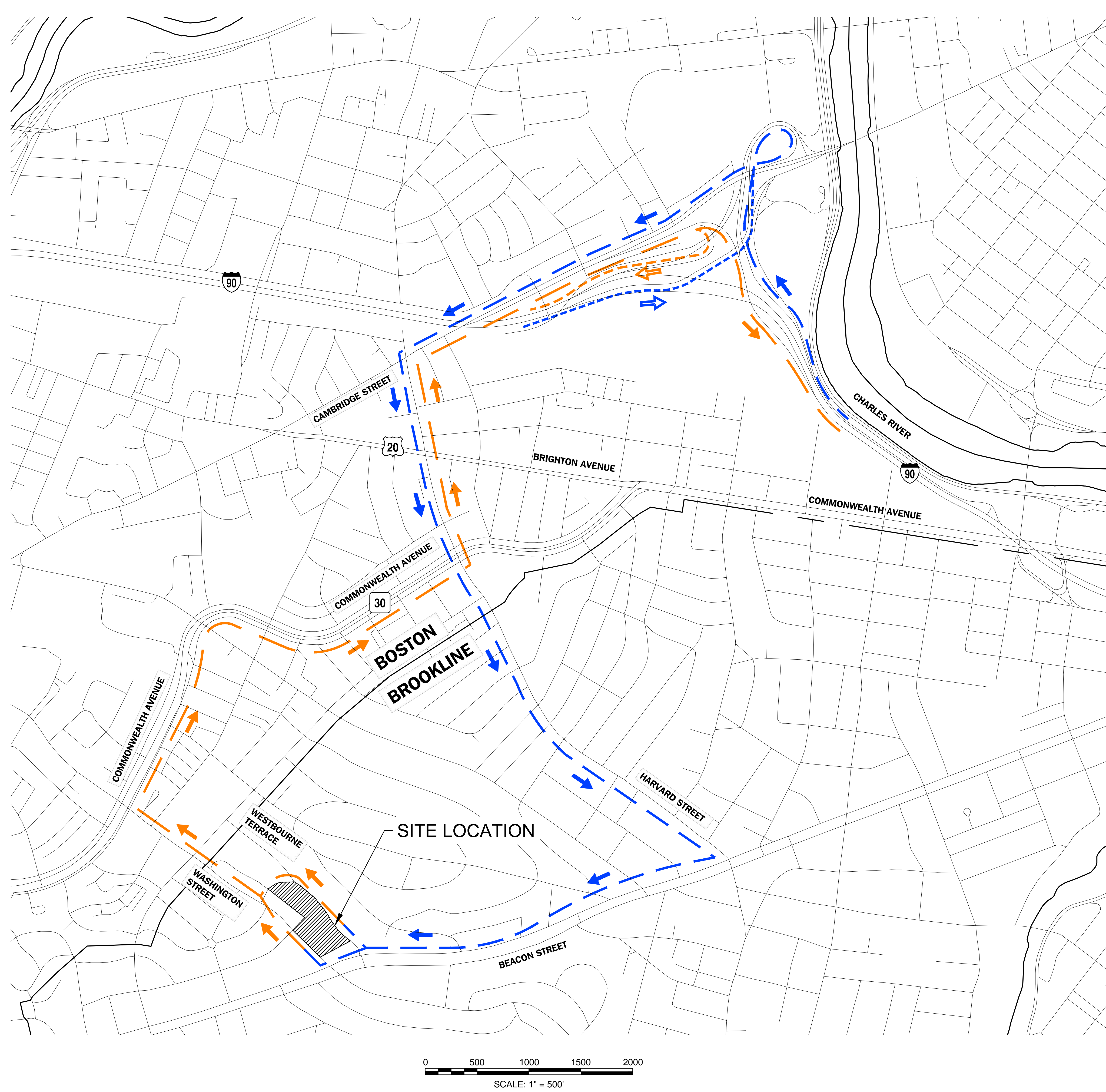
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DRAWN BY	MPP
CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

**Truck Routing**

SHEET 17 OF 17	DRAWING NUMBER
JOB NO. 8757	<b>17</b>
CAD 8757RTE	

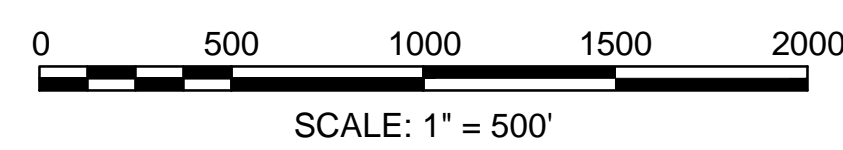


**LEGEND**

- TRUCKS EXITING TO INTERSTATE 90 EB
- TRUCKS ENTERING FROM INTERSTATE 93 WB
- TRUCKS EXITING TO INTERSTATE 90 WB
- TRUCKS ENTERING FROM INTERSTATE 90 EB

**NOTES**

1. TRUCK ROUTE – TRUCKS SHALL ACCESS THE SITE VIA WASHINGTON STREET AND WESBOURNE TERRACE FROM BEACON STREET. TRUCKS SHALL EGRESS THE SITE VIA WASHINGTON STREET.
2. SMALL VEHICLE ROUTE – SMALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE TRUCK ROUTE IDENTIFIED ABOVE.
3. A WB-67 IS THE LARGEST TRUCK EXPECTED TO BE ENTERING AND EXITING THE SITE
4. THERE IS AN EXPECTED 50 TRUCKS ENTERING THE SITE PER DAY.
5. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON RESIDENTIAL SIDE STREETS





**Michael Driscoll School**

**Exhibit K**

**Contractor Controlled Insurance Program & Subcontractor Default Insurance**

**Michael Driscoll School  
Guaranteed Maximum Price**

**Ex. "A.1" to Construction Manager and Owner Agreement  
Contractor Controlled Insurance Program Requirements and Subcontractor Default  
Insurance Requirements**

**1. Overview:** Gilbane Building Company (hereinafter "Construction Manager" or "Gilbane") has arranged with Alliant Insurance Services, Inc., (the "CCIP Administrator") for this Project to be insured under its Contractor Controlled Insurance Program ("CCIP"). The CCIP is more fully described in the Insurance Manual for the Michael Driscoll Elementary School project Contractor Controlled Insurance Program (the "Insurance Manual") that is incorporated in this Exhibit "A.1" and the Contract Documents by this reference.

**2. Enrolled Parties and Their Insurance Obligations:** CCIP Coverages shall cover Enrolled Parties. Enrolled parties are: Construction Manager; eligible Trade Contractors and their Sub-Trade Contractors of any tier who are enrolled in the CCIP, and such other persons or entities as the Contractor in its sole discretion may designate

**3. CCIP Insurance Policies Establish CCIP Coverages:** The CCIP Coverages and exclusions summarized in this Exhibit "A.1" and the other Contract Documents are set forth in full in their respective insurance policy forms. The summary descriptions of the CCIP Coverages in this Exhibit "A.1" or the Insurance Manual are not intended to be complete or to alter or amend any provision of the actual CCIP Coverages. In the event any provision of this Exhibit "A.1", the Insurance Manual, the Contract Documents, or the summary below conflicts with the CCIP insurance policies, the provisions of the actual CCIP insurance policies shall govern. Notwithstanding the forgoing, the Construction Manager warrants and represents that neither this Exhibit "A.1", the Insurance Manual nor the Contract Documents misrepresent the policies, exclusions and coverages of the CCIP insurance policies.

**Summary of CCIP Coverages**

**Workers' Compensation and Employer's Liability**

**Carrier:** American Zurich Insurance Company

**Coverage:** Statutory limits required by the Workers' Compensation laws of the applicable jurisdiction, excluding monopolistic states, with Employer's Liability.

**Part One - Workers' Compensation:** Statutory Limit

<b>Part Two -Employer's Liability:</b>	<u>Annual Limits Per Enrolled Party</u>
Bodily Injury by Accident, each accident	\$ 1,000,000
Bodily Injury by Disease, each employee	\$ 1,000,000
Bodily Injury by Disease, policy limit	\$ 1,000,000

- This policy does **not** cover off-site operations.

**Commercial General Liability**

**Carrier:** Zurich American Insurance Company

**Coverage:** Third Party Bodily Injury and Property Damage Liability.

Limits of Liability

**Ex. "A.1" to Construction Manager and Owner Agreement  
Contractor Controlled Insurance Program Requirements and Subcontractor Default  
Insurance Requirements**

	<u>Shared by All Enrolled Parties</u>
Bodily Injury & Property Damage	\$ 2,000,000 Each Occurrence
Personal/Advertising Injury	\$ 2,000,000 Each Occurrence
General Aggregate	\$ 4,000,000 (Per Project)
Medical Expense	\$ 10,000
Fire Damage Legal	\$ 300,000
Products/Completed Operations Aggregate	\$ 4,000,000

- This insurance will NOT provide coverage for products liability to any insured party, vendor, supplier, off-site fabricator, material dealer or other party for any product manufactured, assembled or otherwise worked upon away from the Project Site.
- This policy does not cover operations away from the project site.
- All Aggregate Limits will reinstate annually except Products/Completed Operations (see below).
- Products & Completed Operations Extension for 10 years or through the statute of repose, whichever is less, beyond final acceptance of the entire Project with a single non-reinstated aggregate limit.
- The policy contains exclusions. Some of these exclusions are: Real & Personal Property in the care, custody or control of the insured; Asbestos; Discrimination & Wrongful Termination; Architects & Engineers Errors & Omissions; Owned & Non-owned Aircraft, Watercraft, and Automobile Liability; Nuclear Broad Form Liability, Pollution except hostile fire.

**Excess Liability**

**Carriers:** Starr Indemnity and Liability Company, Berkshire Hathaway Specialty Insurance Company, XL Insurance America, American Guarantee & Liability Insurance Company, North American Specialty Insurance Company. **Coverage:** Excess Third Party Bodily Injury and Property Damage Liability.

	<u>Limits of Liability</u> <u>Shared by All Enrolled Parties</u>
Each Occurrence Limit	\$ 100,000,000
Products/Completed Operations Aggregate Per Project	\$ 100,000,000
Annual General Aggregate Limit Per Project	\$ 100,000,000

- Policies follow form of underlying Commercial General Liability and Employer’s Liability policy wording (provisions, coverages, exclusions, etc.).
- This insurance will **NOT** provide coverage for products liability to any insured party, vendor, supplier, off-site fabricator, material dealer or other party for any product manufactured, assembled or otherwise worked upon away from the Project Site.
- These policies do **not** cover off-site operations of any Enrolled Party.

**4. Construction Manager’s Obligations:** Construction Manager shall pay the costs of premiums for the CCIP Coverages. Construction Manager will receive or pay, as the case may be, all adjustments to such costs, whether by way of dividends, retroactive adjustments, return premiums, other moneys due, audits or otherwise. Construction Manager assumes no obligation to provide insurance other than that specified in this Exhibit “A.1” and the CCIP insurance policies. Construction Manager reserves the right at its option, without obligation to do so, to furnish other insurance

**Ex. "A.1" to Construction Manager and Owner Agreement  
Contractor Controlled Insurance Program Requirements and Subcontractor Default  
Insurance Requirements**

coverage of various types and limits provided that such coverage is not less than that specified in the Contract Documents.

**5. Conflicts:** In the event of a conflict, the provisions of this Exhibit "A.1" shall govern, then the provisions of the Contract and its other related Contract Documents, then the provisions of the Insurance Manual.

**6. Rates:**

**Contractor Controlled Insurance Program:** Construction Manager will bill the CCIP at a rate of \$24.90 per 1,000 of total contract value between the Construction Manager and the Owner. All change orders will be billed at the same rate. Construction Manager will bill the Owner for insurance costs not covered through the CCIP for Pollution Liability, Professional Liability, Off-site General Liability, Automobile Liability, D&O and Employment Practices Liability at a rate of \$1.60 per 1,000 of total contract value between the Construction Manager and the Owner. These costs shall be referred to as Difference in Conditions ("DIC"). All change orders will be billed at the same rate. The Construction Manager may bill the CCIP and DIC at a combined rate of \$26.50 per 1,000 of total contract value between Construction Manager and the Owner. Rates shall not be subject to any audit provisions.

**Subcontractor Default Insurance:** Separately from the CCIP and DIC rates, the Construction Manager will utilize Subcontractor Default Insurance ("SDI") which will be billed at a rate of 1.2% of subcontract value. All change orders will be billed at the same rate. Construction Manager reserves the right to exclude any subcontractor from the SDI program due to not meeting the Construction Managers prequalification standards. Any subcontractor excluded from the program shall be required to provide a performance and payment bond, charged at the same rate of \$12.00 per \$1,000. All change orders will be billed at the same rate. Rates shall not be subject to any audit provisions. SDI will not be utilized or billed on Chapter 149a file-sub-bid Trade Contractors and instead the Construction Manager shall procure 100% Payment & Performance bonds from these Trade Contractors.

**7. Additional Insured:** Owner and all other contractually required entities shall be included as additional insureds under the General Liability and Excess Liability Coverages within the CCIP.

**8. Waiver of Subrogation:** Where permitted by law, Construction Manager and Owner waive, as against each other, all rights of recovery by subrogation for any and all claims, demands, losses, or liabilities covered under the CCIP coverage provided. This waiver of subrogation shall be effective as to any individual or entity even if such individual or entity (a) would otherwise have a duty of indemnification, contractual or otherwise, (b) did not pay the insurance premium directly or indirectly, and (c) whether or not such individual or entity has an insurable interest in the property damaged.